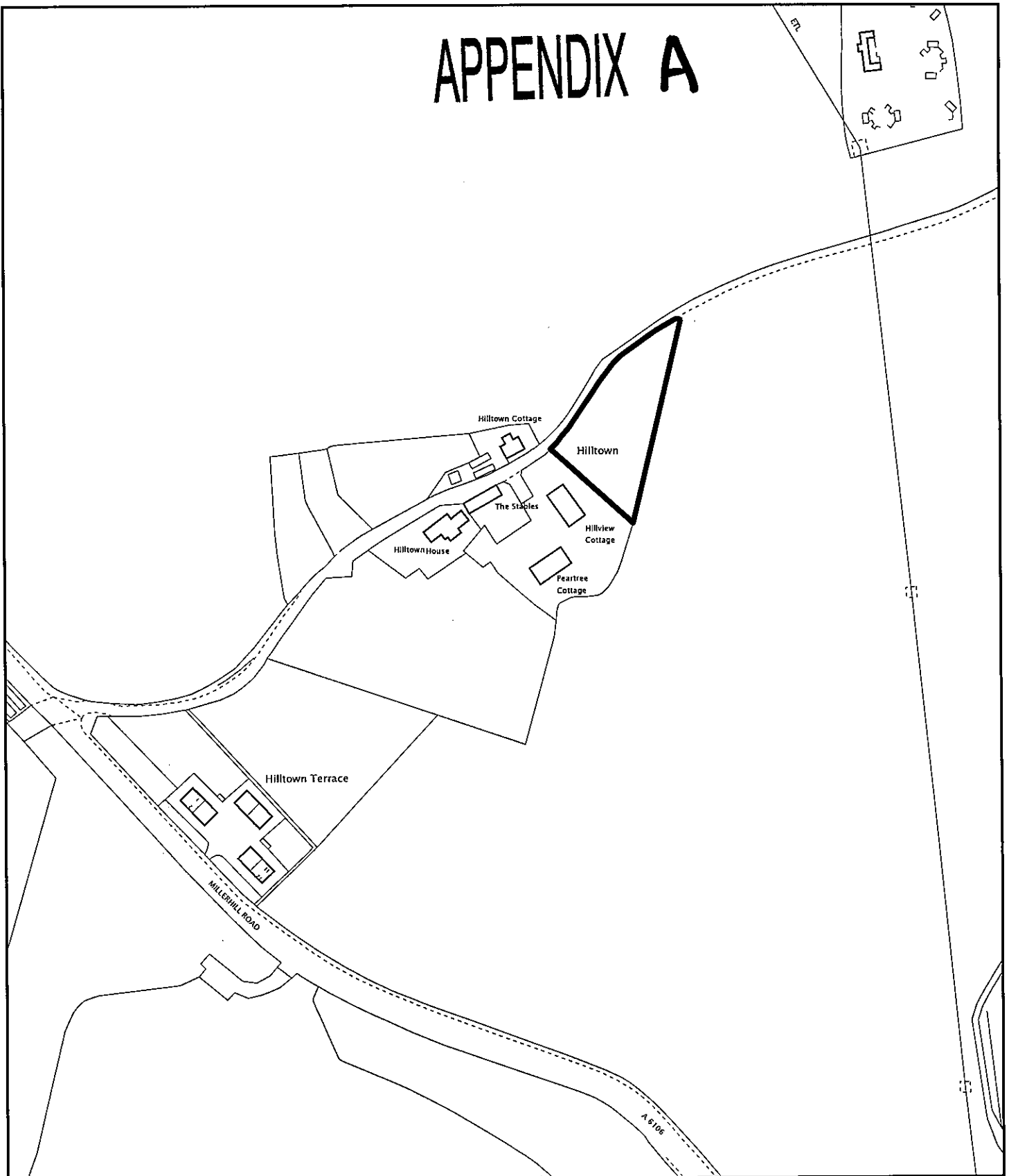


APPENDIX A



Midlothian

Corporate Resources

Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith EH22 3ZQ

Erection of 2 dwellinghouses and formation of associated vehicle access at Land to North of Hillview Cottage, Woolmet, Dalkeith

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Midlothian Council Licence No. 100023416 (2012)

File No: 12/00526/DPP

Scale: 1:2,500



Midlothian



Fairfield House 8 Lothian Road Dalkeith EH22 3ZN

Tel: 0131 271 3302

Fax: 0131 271 3537

Email: planning-applications@midlothian.gov.uk

Planning Department

Applications cannot be validated until all necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 000045979-002

The online ref number is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the Planning Authority about this application.

Applicant or Agent Details

Are you an applicant, or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:

G.S.M. ARCHITECTURE

Ref. Number:

First Name: *

GREIG

Last Name: *

MCCAULEY

Telephone Number: *

0131 258 2138

Extension Number:

Mobile Number:

Fax Number:

Email Address: *

greig@gsmarchitecture.co.uk

You must enter a Building Name or Number, or both:*

Building Name:

Building Number:

36-12

Address 1 (Street): *

MALBET PARK

Address 2:

Town/City: *

EDINBURGH

Country: *

UK

Postcode: *

EH16 6SY

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title: *

Mr

You must enter a Building Name or Number, or both:*

Other Title:

Building Name:

HILLVIEW COTTGE

First Name: *

D.

Building Number:

Last Name: *

ROBERTSON

Address 1 (Street): *

HILLTOWN

Company/Organisation:

Address 2:

WOOLMET, NEWTON

Telephone Number:

Town/City: *

DANDERHALL, MIDLOTHIAN

Extension Number:

Country: *

SCOTLAND

Mobile Number:

Postcode: *

EH22 1SG

Fax Number:

Email Address:

Site Address Details

Full postal address of the site (including postcode where available):

Address 1:

Address 5:

Address 2:

Town/City/Settlement:

Address 3:

Post Code:

Address 4:

Please identify/describe the location of the site or sites.

SHAWFAIR FARM ROAD, HILLTOWN, WOOLMET, DALKEITH

Northing

Easting

Description of the Proposal

Please provide a description of the proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

PROPOSED ERECTION OF 2NO. DWELLING HOUSES

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time of expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

PLEASE REFER TO SEPARATE DOCUMENT IN THE 'SUPPORTING DOCUMENTS' SECTION.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made? *

☐ Yes ☒ No

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

NOTICE OF REVIEW SUPPORTING STATEMENT.
ORIGINAL SUPPORTING DESIGN BRIEF AND STATEMENT.
PROPOSED SITE PLAN AND LANDSCAPING - DRG. NO. DR 02/601.
PROPOSED LOCATION PLAN - DRG. NO. DR 02/602.

Application Details

Please provide details of the application and decision.

What is the application reference number? *

12/00526/DPP

What date was the application submitted to the planning authority? *

23/08/12

Has a decision been made by the planning authority? *

☒ Yes ☐ No

What date was the decision issued by the planning authority? *

23/10/12

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may select more than one option if you wish the review to be conducted by a combination of procedures.

Please select a further procedure *

Inspection of the land subject of the appeal. (Further details below are not required)

Please explain in detail in your own words why this further procedure is required and the matters set out in your statement of appeal it will deal with? * (Max 500 characters)

TO OBTAIN A FULL UNDERSTANDING OF THE REVIEW REQUIREMENTS.

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist - Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare - Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: GREIG MCCAULEY

Declaration Date: 31/10/2012

Submission Date: 31/10/2012

Ref: Gmc - GM 03

Date: 7th August 2012

0131 258 2138 T
07915 600 871 M
greig@gsmarchitecture.co.uk E
gsmarchitecture.co.uk W

SUPPORTING DESIGN BRIEF AND STATEMENT

2 no. PROPOSED DWELLING HOUSES - LAND ADJACENT TO THE STABLES, SHAWFAIR FARM ROAD, HILLTOWN, WOOLMET, DALKEITH, MIDLOTHIAN

We are applying for Planning Permission to create two private self-build dwelling houses with the use of renewable energies on the ground at the above site address for use as private family accommodation. Our intention has been to design the houses to respect the form and layout of the surrounding buildings and environment. The proposed houses have been designed as single storey traditional style cottages with a developed roof space incorporating dormer windows. All proposed construction will be of traditional materials, using a natural grey slate pitched roof, Redwood timber windows/doors and external walls finished with a traditional wet-dash render system to match the surrounding buildings. Natural diversity will be maintained by landscaping and planting a fully detailed specification of native trees and hedging to provide surrounding perimeter privacy screening.

The construction materials of the houses will be designed to achieve the highest standard for sustainability and energy efficiency. By taking advantage of the current requirements for Building Standards to provide more stringent energy saving measures. The need for much greater insulation performance and thermal properties of the building insulation envelope provides an opportunity to develop the rural setting of the proposed site for improving existing resources.

The new dwellings will be served by an Air/Ground Source Heat Pump system to deliver low-cost heating and hot water all year round.

A Solar Photovoltaic (PV) energy system will be provided to each dwelling house integral to reducing the carbon footprint of the buildings.

The highest achievable insulation U-Values will be provided by fully encasing the building envelopes in high performance 'Kingspan' Insulation board throughout floors, walls and roofs. Double glazing units will be specified with Argon filled with Low emissivity 'K' glass, 4mm Optifloat, 8mm cavity units. Glazing type 'Duragreen'- providing band 'A' Energy Rating (WER).

DESIGN PHILOSOPHY

We have taken all measures to ensure the design and appearance of the houses and landscaped site boundaries will not have a significant adverse impact on the character or amenity of the surrounding area. A comprehensive study and observation of the neighbouring buildings and houses has been carried. The aesthetic appearance of the proposed dwelling houses have been sympathetically designed so as to blend in with the existing traditional style of the local area. This is supported by our accompanying 'Design Support Photo Sheet', DRG NO. DR 02 / 01, which documents the character and style of these relevant buildings. This has lead us to the design of two single storey traditional cottage type houses with developed roof spaces, incorporating dormer windows.

SITE HISTORY

Having investigated the planning history of the surrounding area we have established the following: Planning Permission has been recently refused for the erection of four dwelling houses on the land west of our proposed site, Planning Ref. No: 12/00111/DPP. A previous application for the erection six dwelling houses on the same site was withdrawn prior to submission of the most recent application, Planning Ref. No: 11/00525/DPP. However, Planning Permission Consent has been granted for the erection of two dwelling houses on this site, Planning Ref. No: 09/00137/FUL.

Having viewed the consented application on the Midlothian Council portal website the approved houses have been designed as two and half storey high on their principal elevations, incorporating large zinc clad dormers and glazed conservatories, predominantly viewed from the main Millerhill Road. The form and design of these houses would seem to go against the sympathetic approach of the surrounding buildings.

PROPOSED DRAINAGE:

A septic Tank will be proposed serving both houses with discharge to existing water course with partial soakaway system. (possible additional reed bed system).

PROPOSED LANDSCAPING DETAILS:

The existing development site is at present dis-used. The existing scrubland has been unattended and neglected over the past years. The site is overgrown and unsightly with the need for regeneration. The site is in private ownership and has been for many years by my client. It has always been the ambition to create two private family homes on the site with provision for large areas of landscaping.

The entire perimeter of the proposed development site footprint will be fully planted and screened as a woodland edge, acting as a visual barrier to the surrounding areas. This will be achieved by means of a perimeter hedge with trees planted at 5m centres. The landscaping will be created by planting a mix of indigenous species to blend in with the surrounding countryside. This proposed screening will provide an enhanced, softer approach to the future landscaped character and appearance of the area.

Perimeter Hedge: To be a mix of Hawthorn, Beech, Holly, Elderberry and Dog rose, planted with a density of 5 plants per linear meter in a staggered row. Hedging to reach a minimum height of 1.8m and to be maintained at this height.

Perimeter Trees: To be a mix of Rowan, Whitebeam, Birch, Alder, Norway Maple and Scots Pine. Planted at 5m centres.

We are aware that the proposed private development site area has been allocated and zoned as being within the future built-up area, (Shawfair Development.)

The development of the applicants land along with sympathetic landscaping should incorporate and fulfill the deliverability of a section of landscaping required through the Shawfair Design Brief.

MIDLOTHIAN COUNCIL

DEVELOPMENT MANAGEMENT PLANNING APPLICATION DELEGATED WORKSHEET:

Planning Application Reference:

12/00526/DPP

Site Address:

Land to north of Hillview Cottage, Woolmet.

Site Description:

The application site is an area of grassland to the north of the existing houses in Hilltown. There is open countryside to the east, west and north of the site. The site is located on high ground and positioned on a ridge which drops to the east, meaning that it is highly visible from the surrounding area. There is a post and wire fence along the east and north boundary of the site and a 1 metre high fence along the west and south boundaries. The site is triangular in shape and measures approximately 0.27 hectares in size.

There are a number of houses to the south and west of the proposed site. The two houses to the south are relatively new single storey houses (these were approved in 2006). Access to the site is from the single track road which leads from the A6106 Millerhill Road, to Shawfair. This road runs along the west boundary of the site.

The site is currently surrounded by countryside. The land immediately to the east of the site is part of the larger Shawfair development site and is designated in the approved Masterplan as forming part of a linear park and associated structural landscaping as part of the overall development proposals at Shawfair.

Proposed Development:

Erection of 2 dwellinghouses and formation of associated vehicle access.

Proposed Development Details:

It is proposed to erect two houses at the application site. One, housetype B, is positioned to the north of the site: the other, housetype A, to the south, adjacent to the existing house at Hillview Cottage. Both houses are similar in design, being single storey with accommodation in the roofspace served by dormer windows. Housetype A is slightly larger than B. The windows and doors are to be wood; the roofs natural slate; and the walls wet dash render.

A total of 8 parking spaces are proposed. These parking spaces are accessed by sharing the existing access to the site. This existing vehicle access is to be enlarged

to improve visibility. The parking spaces are arranged around a turning area located centrally within the site.

The plans indicate that the entire boundary of the site is to be planted up to create a woodland edge. This is to be done with hedging and trees. This hedging is to be maintained at 1.8 metres. A 1.2 metre high timber fence is to be erected around the boundary.

The supporting statement notes there is to be an air/ground source heat pump and solar photovoltaic energy system at the site. However, no details have been submitted.

Background (Previous Applications, Supporting Documents, Development Briefs):

Covers application site

02/00660/OUT Land bounded by A720, Old Dalkeith Road and the Wisp outline planning permission for residential, industrial and commercial floorspace, community facilities (including new primary schools), associated landscaping with provision for sport and recreation and new transport facilities. Pending.

06/00811/FUL The Stables, Hilltown Farm Erection of two dwellinghouses (amendment to planning permission 05/00717/FUL). Consent with conditions.

05/00717/FUL The Stables, Hilltown Farm Erection of two dwellinghouses. Consent with conditions.

12/00111/DPP land to south of Hilltown House Erection of 4 dwellinghouses.

Refused – allowed at appeal to LRB.

11/00525/DPP land to south of Hilltown House Erection of 6 dwellinghouses.

Withdrawn.

09/00137/FUL Land adjacent to Hilltown House Erection of two dwellinghouses. Consent with conditions.

07/00879/FUL Land opposite Hilltown House Change of use from part of agricultural field to green waste storage site. Refused.

07/00726/FUL Land adjacent to Hilltown House Erection of two dwellinghouses. Withdrawn.

Consultations:

The Council's Policy and Road Safety Manager raises road safety concerns over the proposed development. The access road is substandard and the proposal would lead to an increase in the level of traffic using it. He recommends that the application be refused.

Representations:

No letters of representation have been received in relation to this application.

Relevant Planning Policies:

Midlothian Local Plan

RP7: Landscape character
RP20: Development within the Built Up Area
NRG3 Energy for buildings
DP2: Development guidelines
HOUS3: Windfall housing sites

Planning Issues:

RP20 is relevant for new development within the built up area and seeks to prevent any development which may detract from its character and appearance.

Policy RP7 states development will not be permitted where it may adversely affect the quality of the local landscape.

Policy NRG3 states that new houses should incorporate on-site zero and low carbon technology contributing at least an extra 15% reduction in carbon dioxide in terms of the 2007 building regulations carbon dioxide emissions standard.

Policy DP2 sets out detailed design guidance for residential developments that should be followed unless there is adequate justification to depart from the standards.

Policy HOUS3 states that development on non-allocated housing sites is permitted where it would not lead to the loss or damage of valuable public or private open space, it does not conflict with the established land use of the area, it has regard to the character of the area in terms of scale, form, design and materials, it meets traffic and parking requirements and it accords with other Local Plan policies.

Although surrounded by countryside at present, the application site lies within the built up area due to the planned development at Shawfair. As such, the principle of residential development is acceptable at the site. However, work has not yet commenced on this part of the Shawfair development, and, as a result, the area has a distinctly countryside character.

The form of the proposed houses is traditional and they are modest in size and scale. It is proposed to use traditional materials externally which would be in keeping with the buildings in the surrounding area. Sufficient garden area is proposed for each house. In addition, there is also sufficient distance between both the proposed properties and the existing properties.

The site is located on a ridge and as such is highly visible from both the local and wider surrounding area, including Edinburgh to the west. Due to this position the site needs screening in the form of planting. This would act as a visual barrier around the development and help integrate the houses into the landscape. This screening, especially along the northwestern boundary, should be in the form of a woodland edge. Some planting as screening is proposed on the site plan however this allows only a narrow strip of ground for landscaping at the houses. The area for planting is too narrow a gap to accommodate adequate landscaping mitigation at this prominent site. There is insufficient land within the site to accommodate the currently proposed layout of development and the landscaping along the site boundaries. This

landscaping is essential in order to integrate the development into the landscape. The landscaping is required to ensure that there is a transition from the developed land of the site with the neighbouring future linear public park that will be formed to the immediate south and south east of the site, which is a requirement of the Shawfair development. In the absence of adequate boundary landscaping the currently proposed house development would appear unduly prominent, exposed and intrusive in the landscape, harmful to the landscape character and amenity of the area

The access road leading from the A6106 to the site is narrow and unable to accommodate two-way flow of traffic. It has no footways or street lighting alongside it and due to its horizontal and vertical geometry, has sections of poor forward visibility. In addition, its junction with the A6106 has restricted visibility on both sides. Planning permission was recently granted by the Local Review Body for the erection of 4 houses at land to the south of Hilltown Farmhouse. In granting planning permission the Local Review Body considered that that proposed four house development would not have a significant impact on the access road or the junction onto the A6106 in terms of traffic generation and road safety. This proposal for four houses replaced a previously approved application for two houses at the site. The Local Review Body considered that the erection of an additional two houses at the site would not be a significant change in regard to road safety to the previously approved development. A principal material factor in reaching this conclusion was the fact that Hilltown House located immediately to the north of the site; which is in use as a house, was some 4 years ago in use as a nursery with 30 child places and that at that time the access road and junction were operating satisfactorily.

However, it is important to note that the proposed four house development is closer to the main road, which will result in traffic not having to travel so far along this inadequate road as is being proposed in the application being assessed in this report.

The current application is for the erection of a further two houses within the Hilltown area. The cumulative effect of the new development in the area would result in an increase in use of the substandard access road and of the junction onto the A6106, resulting in potential vehicle and pedestrian safety hazards.

Overall, although the design and materials of the proposed houses are in keeping with the character and appearance of the area, there is a lack of adequate landscaping to integrate the houses in the surrounding area. In addition, there are major concerns over road safety at the site.

Recommendation:

It is recommended that planning permission be refused.

APPENDIX D

Midlothian Local Plan



Midlothian



Midlothian Local Plan

ADOPTED BY RESOLUTION OF
MIDLOTHIAN COUNCIL
ON 23 DECEMBER 2008

This Plan has been produced by the
Planning Unit Strategic Services

Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
Midlothian
EH22 3ZN

Policy Titles

RP6 AREAS OF GREAT LANDSCAPE VALUE**RP7 LANDSCAPE CHARACTER**

2.1.29 National Planning Policy SDD Circular 2/1962 introduced the concept of Areas of Great Landscape Value (AGLVs), requiring local authorities to define their boundaries and to exercise careful control over development proposals in order to safeguard these areas. Particular reference was made to their importance as a tourist resource. In addition, Scottish Natural Heritage (SNH) and Historic Scotland have produced *Guidance on Local Landscape Designations* which promotes the adoption of an 'all-landscapes' approach, within which landscapes of particular value that warrant safeguarding are designated. NPPG 14 *Natural Heritage* requires that policies be included in local plans for the conservation and enhancement of landscape character. In addition, SNH has produced *The Lothians Landscape Character Assessment*, which provides valuable local guidance on the character of Midlothian's landscape and its capacity to accommodate new development. The Conservation (Natural Habitats and Conservation) Regulations 1994 also expect policies to encourage the management of features of the landscape, which are of importance for wild flora and fauna, by maintaining their function in assisting the migration, dispersal and genetic exchange of wild species.

2.1.30 Structure Plan Policy ELSP policy ENVID continues to safeguard AGLVs or other local landscape designations from inappropriate development. The extent of the areas of landscape interest should

be defined in local plans, and policies included for their protection and enhancement. In addition, ELSP policy ENV4 requires local plans to take account of landscape designations in accordance with new guidance produced by SNH.

2.1.31 Local Plan Policy It is essential not only to maintain the distinctiveness of Midlothian's landscape character, and its diversity as a whole, but also to recognise that there is a need to give particular protection to certain areas considered to be of outstanding local landscape value and attractiveness. These are identified as AGLVs which are areas sensitive to any developments that could potentially damage their special scenic attraction. For example, the widespread planting of conifers would be considered inappropriate within AGLVs, especially in open moorland or in "wild" landscapes.

2.1.32 The Local Plan Proposals Map identifies the following areas as AGLVs:

- ❖ the rolling hill country of the Pentlands, Moorfoots and Lammermuirs;
- ❖ the incised river valleys of the North and South Esk and the Tyne;
- ❖ the estate landscapes of Penicuik, Arniston and Vogrie; and
- ❖ Gladhouse, Edgelaw, Glencorse, Rosebery, Loganlea and North Esk reservoirs.

2.1.33 In addition, many localities contain areas of a diverse yet distinctive landscape character which enhance the attractiveness of Midlothian as a whole. Policy RP7 aims to afford protection to these local landscape character areas and to provide support for landscape planning and management.

RP6 AREAS OF GREAT LANDSCAPE VALUE

Development will not be permitted where it may adversely affect the special scenic qualities and integrity of the Areas of Great Landscape Value (AGLVs).

The scale, siting, design, form, materials and impact on important landscape features are all aspects of a proposal that could have an adverse effect on the AGLV. These considerations will apply to developments to be located either within or affecting the setting of areas designated as AGLVs.

RP7 LANDSCAPE CHARACTER

Development will not be permitted where it may adversely affect the quality of the local landscape. Where development is acceptable, it will respect the local landscape character and contribute towards its maintenance and enhancement.

New developments will incorporate proposals to:

- A.** maintain the local diversity and distinctiveness of landscape character including natural and built heritage features of landscape value such as woodland, hedges, ponds, stone walls and historical sites; and
- B.** enhance landscape characteristics where they have been weakened and need improvement and create new landscapes where there are few existing features.

2.2 The Built Heritage

Policy Title

RP20 DEVELOPMENT WITHIN THE BUILT-UP AREA

2.2.1 National Planning Policy National policy as set out in SPP 1 *The Planning System* states that one of the three general objectives of development plans and development control is “to maintain and enhance the quality of the natural heritage and built environment”. In addition, the importance of good design is highlighted as a priority for the planning system, given that “mistakes cannot be easily or cheaply rectified”.

2.2.2 SPP 3 Planning for Housing (now replaced by SPP 3 *Planning for Homes* – see para. 3.2.6) encourages the full and effective use of land within existing built areas, giving priority to reusing derelict and vacant land. However, it also requires that “infill development respects the scale, form and density of its surroundings and enhances rather than detracts from the character and amenity of existing residential areas”. It indicates that this should be an important consideration for planning authorities when preparing development plans and in determining applications, and for developers when preparing proposals.

2.2.3 Structure Plan Policy The ELSP 2015 recognises the importance of protecting and

enhancing the amenity of all urban areas to safeguard and improve the quality of life of residents of the Lothians. Policy ENV1G requires local plans, in encouraging the development of infill sites, the redevelopment of brownfield land and the conversion of existing buildings, to promote a high quality of design in all new development.

2.2.4 Local Plan Policy Midlothian is not characterised by large areas of brownfield land ripe for redevelopment. It follows therefore that the main areas of new development will be on greenfield sites on the edge of the built-up areas. There will, however, be opportunities for new development within the existing urban areas, including conversion, intensification, infill or redevelopment.

2.2.5 Policy RP20 applies to the existing built-up area of all towns and villages, and the areas of new housing allocations. The Local Plan Proposals Map defines the urban boundaries of the main settlements and also identifies village envelopes. The purpose of the policy is to ensure that new development does not damage or blight land uses which are already established in the neighbourhood, particularly where residential amenity will be affected. Sections 3.7 and 4 contain guidance with regards to wind turbines (policies NRG1 and NRG2), energy for buildings (policy NRG3), the form and layout of development on greenfield sites (policy DP2), extensions to existing housing (policy DP6) and control over advertising (policy DP8), which may be relevant to proposals for development within the built-up area.

RP20 DEVELOPMENT WITHIN THE BUILT-UP AREA

Development will not be permitted within existing and future built-up areas, and in particular within residential areas, where it is likely to detract materially from the existing character or amenity of the area.

3.7 Energy

Policy Titles

NRG1 RENEWABLE ENERGY PROJECTS

NRG2 INDIVIDUAL WIND TURBINES AND MICROGENERATION

NRG3 ENERGY FOR BUILDINGS

3.7.1 National Planning Policy In the context of the ongoing national energy debate, climate change and sustainable development, this Section brings together existing and new planning policies relating to renewable energy generation, energy consumption and energy efficiency with greater emphasis on reducing carbon dioxide (CO₂) emissions from built development. The Scottish Government's *National Planning Framework for Scotland* acknowledges the need to use resources more efficiently, reduce energy consumption and CO₂ emissions, and develop renewable sources of energy.

3.7.2 Paragraph 39 of SPP 6 *Renewable Energy* requires that, in updating development plan policies, such policies should support Scottish Ministers' commitment to renewable energy and provide positively for its development; identify broad areas of search where projects for wind farms above 20 MW will be supported; indicate areas that will be given significant protection from wind farms over 20 MW; guide developers on broad criteria to be considered for all renewable energy development proposals; include policies supporting wider application of medium and small-scale renewable technologies and provide a clear development management framework.

3.7.3 SPP 6 sets out a national policy for low or zero on-site carbon reduction requirements for new development. PAN 84 *Reducing Carbon Emissions in New Development* provides further information and guidance on these requirements. PAN 45 and its Annex *Planning for Micro Renewables* (May 2006) support SPP 6 and provide information and best practice on renewable energy development. The Local Plan policies as set out below are consistent with SPP 6 and will contribute towards achieving the Government's climate change targets up to 2020 and beyond.

3.7.4 Structure Plan Policy The principles of sustainable development underpin the ELSP 2015 development strategy. Policy ENV6 supports

the development of renewable energy resources where they can be achieved in an environmentally acceptable manner. It requires local plans to set out the specific criteria for assessing proposals including, if appropriate, areas of search or specific sites for wind or other renewable energy developments.

3.7.5 Local Plan Policy The Local Plan policy framework follows national and ELSP guidance on renewable energy developments. Policy NRG1 identifies the most likely sources of renewable energy within Midlothian and provides support for the development of renewable energy projects. Policy NRG2 provides specific guidance for individual wind turbines and microgeneration. In order to enhance its understanding, the Council commissioned a landscape capacity study for wind energy development in Midlothian. The purpose of the study was to:

- ❖ assess the suitability, and capacity, of the landscape to accommodate commercial wind farms and community/individual wind turbine development;
- ❖ provide advice on the siting and design of wind turbines, including their cumulative effect; and
- ❖ identify areas of search, if appropriate.

3.7.6 Although national guidance is supportive of wind energy developments, it accepts that this can only be where environmental impacts can be addressed. The study found that there is limited capacity in Midlothian for wind energy development and that a policy focused on giving priority to smaller "domestic" or "community" scale development in the lowlands would be appropriate. The study provides information on the potential of cumulative impact of turbines. The Council endorses the findings of the study, and as a result, it is not considered appropriate, or necessary, to identify areas of search for wind energy. The study will be a material consideration when assessing planning applications for wind turbine developments and reference should be made to the full study when preparing development proposals. The Council considers the approach taken in the Local Plan conforms with national policy and guidance in promoting a positive approach to renewable energy. The Scottish Government Reporter found, in his report to the Council on the public local inquiry on the Finalised MLP (2006), that the Landscape Capacity Study justifies the Council's intention not to identify search areas for wind energy development in Midlothian. He concluded that the area is too small, and has a diversity of landscape character that makes the identification of search areas impractical.

3.7.7 Forby that the study considers that there is limited capacity for wind energy development in Midlothian, the Local Plan is seeking to ensure that all development proposals incorporate optimal use of microgeneration technologies (for example, biomass, solar thermal, micro-wind turbine, heat pumps etc). This will assist Midlothian's contribution to energy efficiency and carbon reduction.

3.7.8 SPP 6 and PAN 84 require that new development and redevelopment schemes should reduce their energy needs and contribute towards meeting those needs through such on-site low and zero-carbon technologies. This approach should allow a positive contribution to be made towards meeting CO₂ targets without undue reliance on

often controversial centralised energy systems. Policy NRG3 relates to the whole life energy requirements of buildings. It requires a reduction in the amount of CO₂ associated with development through good design practice, on-site low and zero-carbon technologies, and energy savings, all contributing towards a reduced environmental "footprint".

3.7.9 In relation to the Shawfair new community (committed development proposal), the Council is engaged in promoting decentralised sustainable energy solutions with developers as part of the master plan process. It is likely that the final energy strategy will incorporate elements similar to those required under policy NRG3.

NRG1 RENEWABLE ENERGY PROJECTS

Renewable energy developments, including wind energy, landfill gas, biomass, combined heat and power and geothermal schemes will be permitted provided any proposal:

- A. will not cause a significant adverse effect upon areas of nature conservation interest covered by policies RP10, RP11 and RP12, nor the following protected areas: Conservation Areas, Scheduled Ancient Monuments, Listed Buildings, Historic Gardens and Designed Landscapes, significant archaeological sites, Pentland Hills Regional Park, (and where relevant, the settings of the aforementioned designated areas or buildings), prime agricultural land, the Green Belt, Areas of Great Landscape Value, peatland and water supply catchment areas;
- B. will not have an unacceptable effect on the amenity of nearby residential properties;
- C. will not have an unacceptable effect on the wider environment by reason of landscape and/ or visual impact *1 *2, noise, safety, traffic generation or pollution control;
- D. will not demonstrably damage the local economy in terms of tourism or recreation;
- E. includes a realistic means of securing the removal of the equipment when redundant, and restoring the site to a satisfactory condition;
- F. will not require infrastructure for access and/or power transmission which in itself has a significantly unacceptable environmental impact; and
- G. accords with any other relevant Local Plan policies or proposals;
and, in the case of wind energy proposals:
- H. will not significantly increase the risk of shadow flicker or driver distraction; and
- I. will be unlikely to cause interference with the flight paths of migratory birds or with military low fly zones.

*1 The cumulative landscape and/or visual impact of such proposals will be taken into consideration when assessing individual planning applications.

*2 In assessing wind energy proposals against this criterion, the Council will have regard to the findings of the *Landscape Capacity Study for Wind Turbine Development in Midlothian (2007)* which will be

given significant weight as a material consideration. Reference should be made to the guidance provided on siting, design and location in the study and good practice as set out in PAN 45.

NRG2 INDIVIDUAL WIND TURBINES AND MICROGENERATION

The Council will support individual wind turbines and other microgeneration technologies for localised power requirements provided they are located to minimise any potential adverse impact on the local environment, residential amenity, landscape and/or any settlement in close proximity. The cumulative landscape and/ or visual impact of such proposals will be taken into consideration when assessing individual planning applications. Reference should be made to the guidance provided on siting, design and location in the report *Landscape Capacity Study for Wind Turbine Development in Midlothian (2007)* and good practice set out in the Annex to PAN 45 (2006).

NRG3 ENERGY FOR BUILDINGS

The Council will require predicted CO₂ emissions associated with the life cycle of all new buildings and conversions to be minimised as far as is practicable.

In the case of residential development, proposals must compensate for any failure to optimise useful gains from passive solar energy by demonstrating achievement of a reduced level of CO₂ emissions.

Proposals with a total cumulative floorspace of 500m², and windfall development of any size, should incorporate on-site zero and low carbon equipment contributing at least an extra 15% reduction in CO₂ in terms of the 2007 building regulations carbon dioxide emissions standard.

In the case of HOUS1 and HOUS2 sites; ECON1 and ECON2 sites (where proposals exceed 1000 m² total cumulative floorspace); and windfall developments (where proposals exceed 1000m² total cumulative floorspace in the case of non-dwellings; and, in the case of housing sites, where proposals exceed 14 units or that the site is 0.5 hectares or more in size); proposals must demonstrate a "Good" or better BREEAM or bespoke BREEAM rating or its equivalent.

4.2 Development Guidelines

DP2 DEVELOPMENT GUIDELINES

Note: Reference should also be made to Appendix 2C for the design principles and Appendix 2D for landscaping and open space requirements which apply specifically to the Shawfair new community, and expansion of Danderhall. The Shawfair Masterplan and Design Guide provide detailed supplementary planning guidance.

These policies apply to all proposals for development within this Local Plan area. They will form the basis for any briefs to be prepared for sites to be released for development through the Local Plan.

Developers will normally be expected to submit a statement with applications for major sites explaining their approach to the site with regards to the issue of design, sustainability, landscape and open space. The statement shall explain the way in which the Council's design criteria have been observed. If the criteria have been departed from this should be noted, together with an explanation of the circumstances requiring this.

Irrespective of support for the principle of development in this Local Plan, all proposed developments which fall within the remit of the Environmental Impact Assessment (Scotland) Regulations 1999 (Schedules 1 and 2), will require the submission of an Environmental Statement in conjunction with the planning application.

A case for modification of the private open space standards may be accepted by the Council within the Local Plan area where the sites proposed to be developed are brownfield, infill, involve less than three houses, lie within Conservation Areas, or windfall. In such cases, a determining factor will be the existing character of the area surrounding the site. This may not necessarily dictate lower space standards. For example, in some Conservation Areas, the density of housing is very low. Such existing character may dictate very generous gardens in new housing development.

1 Design

The release of extensive areas of land, through the development sites in this Local Plan, offers an opportunity to create new, interesting and attractive environments.

The Council recognises that good design can:

- a) promote sustainable development;
- b) improve the quality of the environment;
- c) attract business and investment;
- d) reinforce civic pride and a sense of place; and
- e) secure public acceptance of the need for new development.

For these reasons:

The Council will require good design in both the overall layout of sites and their constituent parts and a high quality of architecture in both the overall layout of sites and their constituent parts.

2 Sustainability

The Council will expect development proposals to have regard to the following principles of sustainability:

- a) building in harmony with the site including optimising on orientation and relationships to contours, provision of shelter, and utilising natural features;
- b) fostering and maintaining biodiversity;
- c) treating and conserving water on site in line with best practice and guidance on sustainable drainage;
- d) reducing consumption of energy;
- e) recycling of construction materials and minimising the use of non-renewable resources (refer also to policy WAST4 – waste minimisation);
- f) facilitating accessibility and adaptability; and
- g) providing for waste recycling in accordance with standards which will be set out in supplementary planning guidance on waste separation, collection and recycling requirements for new developments.

3 Landscaping

All development proposals must be accompanied by a comprehensive scheme of landscaping. This will be designed to provide shelter, help create spaces, add colour and add to the interest and appearance of the development.

New tree planting will be used to define the edge of development areas within sites. The Forest Habitat Network (Forestry Commission Scotland) provides guidance in planning greenspace within new developments.

Where development sites abut the countryside, tree belts of an average of 30 metres wide will be required except where a development brief indicates a lesser figure will be acceptable. This width is required to ensure the effect of the planting is maintained as the trees mature.

Where distributor and access roads are to be tree lined as a landscape feature of the development site, space sufficient to provide for the span of the trees as they mature must be provided to each side of the road to be planted. The space to be provided will be influenced by the selection of tree species and design concept being followed.

A high standard of landscaping is required throughout sites. Tree and shrub species should be selected primarily for their good appearance, hardiness, low maintenance and suitability to the character of the site and layout design.

Indigenous species should form the basis for landscape schemes.

Finishing materials, surface textures and street furniture, together with the design of walls and fencing should combine with the landscaping to establish a theme for the development as a whole.

When submitted to the Council, detailed applications for planning permission must be accompanied by proposals indicating the character and scale of the landscaping to accompany the new development.

Landscaped areas adjoining roads will be adopted by the Council on the same basis as other landscaped and open space areas provided as a result of development.

Where possible, topsoil should be left *in situ* on development sites. Where it would be sterilised by development, topsoil should be stored in a manner which preserves its intrinsic environmental value and reused in connection with the landscaping of the development site or, if not possible, elsewhere in site restoration, landscape enhancement and/or the creation of public open space.

4 Open Space

Open space is an essential part of the built environment. It provides amenity to those whose property adjoins or is close to it. It can provide pedestrian or cycle routes. Open space allows opportunities for play and exercise whether of a formal or informal character. It gives the opportunity within settlements for the creation of natural habitats and shelter for flora and fauna. It can create the setting to important private and civic buildings and be an integral part of the character of settlements. Policies RP29 and 30 provide for the protection of open spaces. The proposed growth of Midlothian's settlements as a result of this Local Plan must be accompanied by open space provision on a scale and in a manner commensurate with its importance to the lives of future communities in these areas.

The following standards do not take account of the need for informal amenity open space, infrastructure tree planting and passive recreation areas such as parks, open spaces and footpath networks. In determining the need for such additional open space the Council will take account of the area surrounding the site. Major development sites will be subject to a brief that will identify such needs.

Open spaces designed for children's play should be large enough to absorb such activity with minimum disturbance to local residents or undue damage to grass and planted areas. Similarly, the location of pitches for older sections of the population within open spaces should take account of the potentially adverse effect on amenity if situated too close to housing.

4a Open Space required for Sport

Unless otherwise determined within development briefs for housing sites proposed in this Plan, provision for outdoor sport will be made in accordance with the National Playing Field Association's (NPFA) minimum standards and the Council's open space strategy, once approved.

4b Children's Play Space

The design and location of play spaces should be convenient to their users. They should be subject to passive supervision and open sunlight during the majority of the day. They should be fenced in order to avoid children running out of the play area and to discourage dogs making their way in.

In general terms, their design and location should accord with the advice provided in SPP 11 *Open Space and Physical Activity* and PAN 46 *Designing Out Crime*.

Provision for children's play space will normally be provided within new housing areas in accordance with the NPFA's recommendations.

This standard is currently set at 0.6 - 0.8 hectares per 1000 population. In assessing the area requirement, the potential population of a housing development will be used for the basis of calculation.

The NPFA recommends that a hierarchy of open spaces be available for children's play, the largest spaces providing for the most extensive range of equipment and facilities and combined with land used for other formal recreational use. Smaller open spaces, recommended by the NPFA at the bottom of the hierarchy perform an important visual amenity function. These spaces will normally be no less than 0.04 hectares in extent. Whether such small spaces will require any equipment placed within them is dependent on the character of housing surrounding the space and the distance to the nearest play area. In small, medium to low density developments, no equipment is likely to be required. Site and distance criteria for such spaces should be as recommended by the NPFA's *The Six Acre Standard*. Larger equipped play areas serving neighbourhoods should be provided as recommended by the NPFA. It may not always be appropriate to provide spaces to the minimum

recommended size. However, an area of open space accommodating play equipment within a housing area should not be less than 0.1 hectares.

4c Maintenance of Play Equipment and Open Spaces

Arrangements for the long-term maintenance of open spaces shall be agreed with the Council prior to consent being issued. Maintenance arrangements can be through adoption by the Council or through alternative measures, either being subject to agreement with the Council.

Acceptable provision, including long-term funding for the maintenance of open spaces, landscaping and play equipment will be a prerequisite of planning permission for new residential and other developments.

For the purposes of this section, "long-term" will typically be a period of at least 15 years.

4d Retention of Open Spaces

Public open spaces provided in association with new development will be subject to conditions and, where appropriate, agreements requiring that they continue in use as communal open space.

4e Provision of Play Facilities for Children

Equipment for communal play will be required in association with all new residential development, with the exception of housing specifically designed for the elderly.

Acceptable levels of provision are currently found to be established where the developer provides equipment to a value based on the sum of £250 per child bed space (as at 2006 price, subject to price index adjustment). The cost per child bed space figure may be subject to negotiation for larger developments where the economies of scale can be brought into effect.

Child bed spaces are the number of bedrooms in a house less the principal bedroom. In the case of houses having secondary bedrooms of exceptionally large size, it may be considered necessary to take the

view that these could be occupied by more than one child.

Where the number of houses or the application site is too small to satisfactorily accommodate children's play, an amount of equipment based on the above standard must still be provided, for installation in an existing park accessible to the new housing.

5 Housing: General Considerations

The detailed planning, layout and appearance of new housing developments must reflect national planning advice and guidance. In accordance with the encouragement therein of imaginative and innovative design, proposals showing exceptional ingenuity may be exempted from the usual space requirements, provided that the quality of public and residential amenity is demonstrably not compromised.

Many large companies use standard house types in the interests of efficiency and economy for their particular organisation. Such an approach may not always provide an acceptable design. Developers will be expected to be flexible in their use of house types and if necessary modify their range to meet the Council's requirements for specific sites.

The main aims are to achieve comfortable, safe, well-designed living environments with a distinct sense of place, and a high quality of design and finish.



5a Housing: Detailed Considerations

Care is required in grouping of buildings. The houses forming a group must relate well in terms of scale, angle and alignment of roof pitch, choice of finishing materials and detailing.

A good level of security for the residents of a scheme must be provided and in this respect attention should be paid to linking buildings together by means of walls or garages. Open spaces should be designed as features to be looked onto from the front and sides of houses as should pedestrian routes and roads. Houses should not, as a general rule, be designed to back onto such features.

Housing layouts should be designed to be convenient for pedestrians, with special attention being paid to the provision of direct footpath / cycleway links between houses, schools, shops and community facilities.

The housing layout and house types should be designed to provide for a high standard of passive energy gain; in this respect buildings should be arranged as to avoid unduly overshadowing one another.

5b Housing: Private Outdoor Space

Detached, semi-detached and terraced dwellings should each be provided with a private outdoor space that is free from direct overlooking from public areas and neighbouring property as far as possible. Permanent overshadowing of these areas should be avoided and, wherever possible, such spaces should enjoy good access to sunlight. Where flats are proposed, such spaces should enjoy good access to sunlight and additional provision of amenity open space should be made, including sunlit areas convenient for residents to enjoy.

Private open space attached to the dwelling is required for all non-flatted properties. While recognising that individual preferences may vary, houses suitable for families should be provided with adequate usable private gardens. Such spaces serve a multitude of different household purposes and should be of sufficient size to perform such functions satisfactorily. It is also important to allow for the reasonable extension of a new house without reducing the availability of private open space to an unacceptable level. The usable garden area is defined as that part of the rear garden not occupied by a garage, or garage space, driveway or parking space.

For detached and semi-detached houses, private open space should be provided, as a minimum standard, on the following basis:

- a) houses of 3 apartments should have usable garden areas no less than 110m²;
- b) houses of 4 apartments or more should have usable garden areas no less than 130m²;

Terraced houses of 3 or more apartments should be provided with a minimum usable garden area of 100m².

Where, particularly in the case of terraced houses because of the floor plan design, these criteria result in garden lengths in excess of the Council's requirements, smaller garden areas will be acceptable. In such cases the amount of communal open space will normally require to be increased to compensate for the reduction in private open space. In exceptional cases, this principle may also apply to other types of houses.

Garden areas referred to above should be so designed and located so that a usable part of the garden area will enjoy at least three hours of any available sunlight on 1 March.

5c Space between Houses

Spaces between houses may vary depending on the types of houses and the nature of the sites. Certain minimum standards must be observed. These are as follows:

- a) back to back distance, whether between single storey or two storey houses, of 25 metres;
- b) between gable and rear of such property 16 metres; and
- c) between the front elevations 22 metres.

Where housing is built across steeply sloping ground, the distance between buildings will require to be extended to avoid the higher properties being over-

dominant. In such situations, split-level housing should be considered as a means of reducing the distance houses are set apart.

Reduction in the distance between front elevations will be possible where there are positive reasons relating to the design of the layout and where the house design ensures no material loss of privacy as a result of overlooking from windows.

The length of individual rear gardens will vary but will normally be anticipated to be at least half the minimum back-to-back distance. Exceptions to this may be acceptable where distance standards are met, minimum garden size is achieved or where the houses back onto an open aspect.

Flatted properties should be provided with a communal private open space conveniently located for the residents. The area of land supplied for this purpose should be provided to half the standard used for terraced housing.

If essential to secure an appropriate attractive and well designed development, the above space standards may be relaxed. Such relaxation is expected to be confined to sites that have some unusual characteristic.



5d House Design

The Council wishes to encourage a high standard of design. Novel architectural solutions including those which meet the need for energy conservation and sustainability will be encouraged.

Conventionally designed housing should observe the following criteria:

- a) roofs should be conventionally pitched and be symmetrical;
- b) roof pitches should be not less than 35° and not greater than 45°;
- c) there should be a dominant roof and ridge line where the floor plan is not a single rectangle as in 'L' or 'T' or other more irregularly shaped floor plans;
- d) the dominant ridge line should normally run parallel to the road;
- e) the colours of wall finishes and roof materials should be sympathetic to one another;
- f) windows should have a vertical emphasis;
- g) a variety of wall finishes on single buildings should be avoided;
- h) variety of finishes on groups of buildings should generally be avoided, interest should be achieved by the use of different architectural detailing; and
- i) underbuilding should be kept to a minimum and base courses should not be obvious if built from a different material from that of the rest of the wall.

5e Areas of Improved Quality

Within HOUS1, HOUS2 and HOUS3 sites of 15 units or more, it is desirable to seek, within limited parts of each site, an added emphasis on quality in design. This is to apply to individual buildings or groups of buildings, and in the use of materials both in finishes to dwellings (for example, slate and wet dash render, stone detailing, rosemary and clay pantiles) and also in walls and ground surfaces.

In this way development is likely to have the elements necessary to produce a 'future' conservation area. The Council expects such treatment will be applied to a minimum of 20% of the dwellings on the site and should be focused on prominent landmark groups or key individual homes.

6 Accessibility and Parking Provision

Proposals for new development will be required to:

- a) incorporate measures to enable / encourage the use of alternative transport modes to the private car;
- b) make provision for roads, lighting and parking to satisfy the Council's standards (refer to *Standards for Development Roads: A Guide to the Design and Construction of Roads for Adoption*).

Detailed layout designs for developments, or phases thereof, will be accompanied by statements of the design measures taken, and on-site and off-site infrastructure to be provided, in the interests of enabling and encouraging residents and visitors to use alternatives to the private car.

7 Notifiable Installations

Proposed developments should take the presence of notifiable installations into account, and planning applications for development within the consultation distances of these installations will be referred to the Health and Safety Executive (HSE), and account taken of their response, in accordance with SOEnvD Circular 5/93. Similarly, proposals to site new notifiable installations in the vicinity of existing urban development will require consultation with the HSE.

8 Edinburgh Airport Safeguarding Zone

Planning applications for certain types of development within the consultation zone* for Edinburgh Airport will be referred to the British Airports Authority (BAA) for their interest, and account taken of their response, in accordance with The Town and Country Planning (Safeguarding Aerodromes, Technical Sites and Military Explosives Storage Areas)(Scotland) Direction 2003 (see Circular 2/2003).

*For details of types of development and extent of area, refer to Edinburgh Airport Aerodrome Safeguarding Map, available for inspection in the Council's offices.

Policy Title

HOUS3 WINDFALL HOUSING SITES

3.2.39 Local Plan Policy Windfall developments are those sites and conversions that come forward for development for various unforeseen reasons through the Plan period. They tend to be infill sites within the built-up area as defined by the Local Plan Proposals Map. Such developments are likely to be acceptable, provided they are not in conflict with other Local Plan policies and proposals. The Structure Plan continues to support brownfield and windfall development within urban areas and an allowance for these is included in the calculation of the housing land requirements.

3.2.40 Small infill sites have not been identified in this context, but a number of such opportunities may exist. An assessment has been undertaken of all the villages and smaller settlements in Midlothian to assess if there could be opportunities for windfall housing. Some opportunities exist for limited development to provide for small-scale housing developments that would bring variety and choice, whilst not 'swamping' these small settlements. In some instances, there are brownfield opportunities for development within existing village envelopes, for example, at Cousland and Temple (vacated primary school sites), Howgate and Fala (redundant schools) and Edgehead (redundant farm steading). In other cases, the settlement boundaries have been adjusted to include identified opportunities. For example, at Newlandrig, a redundant poultry farm site in the centre of the village has been included, where some housing could be acceptable, along with the development of a village green/open space



to provide a village focal point. At Cousland, land at Airybank has been included in the village envelope. This land could accommodate a development of a maximum of four houses without having a negative impact on the setting of the village, subject to the retention of the peripheral landscaping. At Dewartown, the opportunity has been taken to extend the village envelope northwards, contained within the boundary provided by the Dewar Town Burn.

3.2.41 Outwith the built-up areas, there is a general presumption against housing development (see Resource Protection section). There is, in particular, no locus in the approved Structure Plan for releasing new sites in the Green Belt. However, policy DP1 makes provision for limited development outwith built-up areas. This could provide other opportunities just outwith the village envelopes to help to provide scope for new housing or other facilities in these communities, for example, at Newlandrig (derelict poultry farm), and Edgehead and North Middleton (vacated primary school sites). Any such proposals will be considered under the terms of policy DP1.

HOUS3 WINDFALL HOUSING SITES

Within the built-up areas, housing development on non-allocated sites, including the reuse of buildings and redevelopment of brownfield land, will be permitted provided that:

- A. it does not lead to the loss or damage of valuable public or private open space;
- B. it does not conflict with the established land use of the area;
- C. it has regard to the character of the area in terms of scale, form, design and materials;
- D. it meets traffic and parking requirements; and
- E. it accords with other relevant Local Plan policies and proposals, including policies IMP1, IMP2, IMP3 and DP2.

Refusal of Planning Permission

Town and Country Planning (Scotland) Act 1997

APPENDIX E

Reg. No. 12/00526/DPP

G.S.M. ARCHITECTURE
36-12 Malbet Park
Edinburgh
EH16 6SY

Midlothian Council, as Planning Authority, having considered the application by Mr D Robertson, Hillview Cottage, Hilltown, Woolmet, Newton, Danderhall, Midlothian which was registered on 23 August 2012 in pursuance of their powers under the above Acts, hereby **refuse** permission to carry out the following proposed development:

Erection of two dwellinghouses and formation of associated vehicle access on land to north of Hillview Cottage, Woolmet, Dalkeith

In accordance with the application and the following plans:

| <u>Drawing Description.</u> | <u>Drawing No/Scale</u> | <u>Dated</u> |
|-----------------------------|-------------------------|--------------|
| Location Plan | DR02/602 1:1250 1:200 | 23.08.2012 |
| Site Plan | DR02/601 1:500 | 23.08.2012 |
| Proposed floor plan | DR02/101 1:100 | 23.08.2012 |
| Proposed floor plan | DP02/104 1:100 | 23.08.2012 |
| Proposed elevations | DR02/107 1:100 | 23.08.2012 |
| Proposed elevations | DR02/108 1:100 | 23.08.2012 |
| Photographs/Illustration | DR02/01 | 23.08.2012 |
| Supporting statement | | 23.08.2012 |

The reasons for the Council's decision are set out below:

1. *In terms of the lack of scope for landscape mitigation the proposed houses would not be satisfactorily integrated into the landscape but instead would appear unduly prominent, exposed and intrusive in the landscape, harmful to the landscape character and amenity of the area. Thereby they are contrary to adopted Midlothian Local Plan Policies RP7, RP20 and HOUS3.*
2. *The additional vehicle movements resulting from the proposed development would have a harmful impact on road safety within the local road network.*

Dated 23 / 10 / 2012

A handwritten signature in black ink, consisting of a stylized 'D' and 'R'.

.....
Duncan Robertson
Senior Planning Officer; Local Developments,
Fairfield House, 8 Lothian Road, Dalkeith, EH22 3ZN

PLEASE NOTE

If the applicant is aggrieved by the decision of the planning authority to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town & Country Planning (Scotland) Act 1997 within 3 months from the date of this notice. The notice of review should be addressed to The Development Manager, Development Management Section, Midlothian Council, Fairfield House, 8 Lothian Road, Dalkeith EH22 3ZN. A notice of review form is available from the same address and will also be made available online at www.midlothian.gov.uk

If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonable beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part V of the Town and Country Planning (Scotland) Act 1997.

Prior to Commencement (Notice of Initiation of Development)

Prior to the development commencing the planning authority shall be notified in writing of the expected commencement of work date and once development on site has been completed the planning authority shall be notified of the completion of works date in writing. Failure to do so would be a breach of planning control under section 123(1) of the Town and Country Planning (Scotland) Act 1997 (as amended by the Planning etc (Scotland) Act 2006). A copy of the Notice of Initiation of Development is available on the Council's web site www.midlothian.gov.uk

IMPORTANT NOTE REGARDING PUBLIC ACCESS TO INFORMATION

Making an application

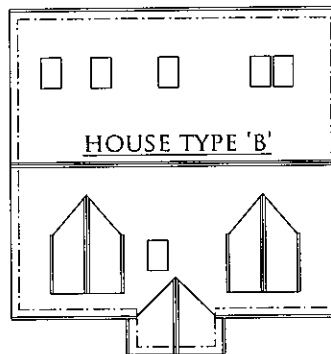
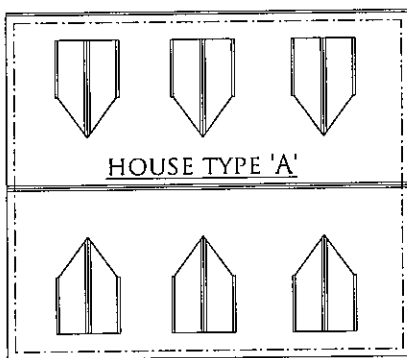
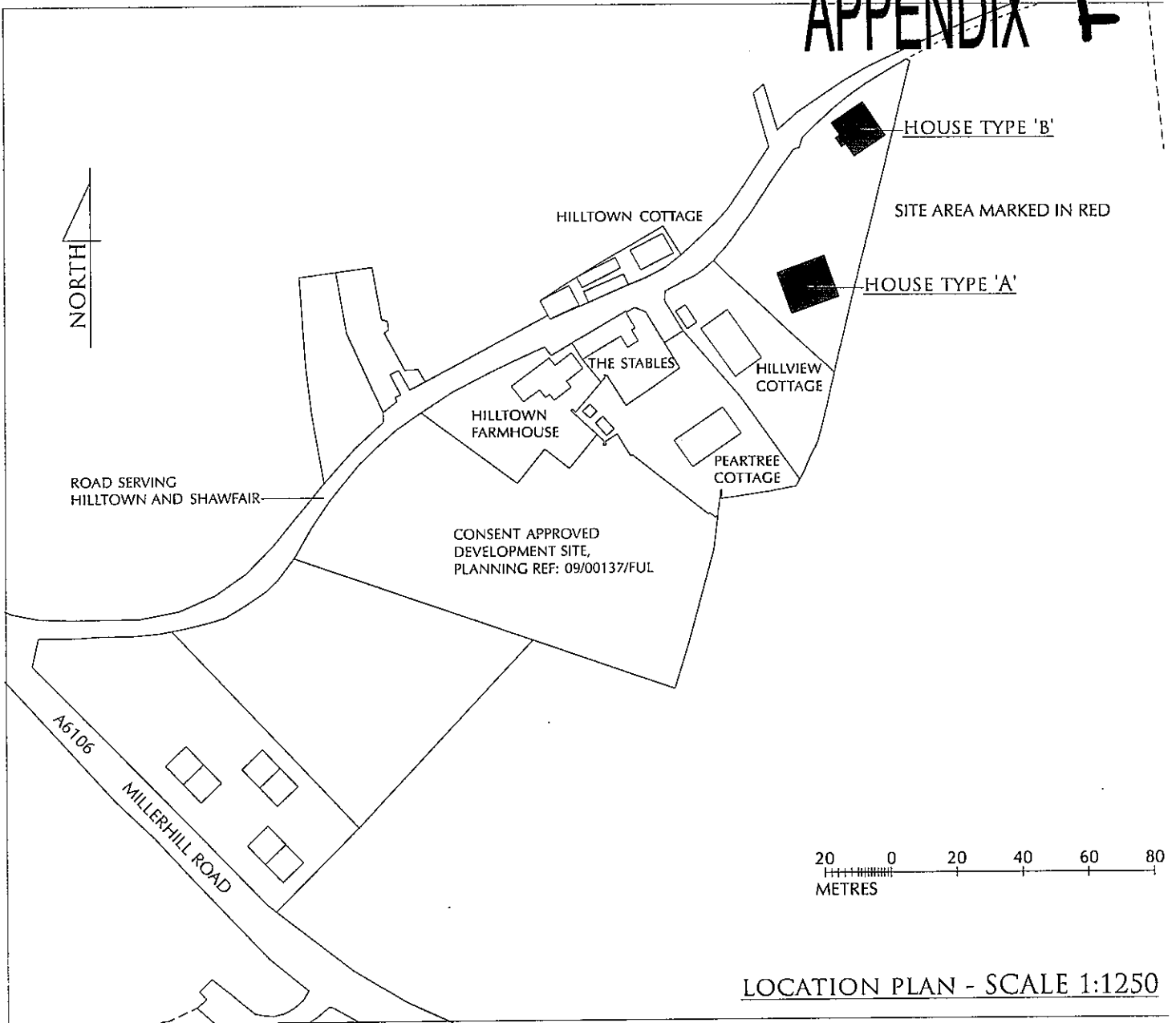
Please note that when you submit a planning application, the information will appear on the Planning Register and the completed forms and any associated documentation will also be published on the Council's website.

Making comment on an application

Please note that any information, consultation response, objection or supporting letters submitted in relation to a planning application, will be published on the Council's website.

The planning authority will redact personal information in accordance with its redaction policy and use its discretion to redact any comments or information it considers to be derogatory or offensive. However, it is important to note that the publishing of comments and views expressed in letters and reports submitted by applicants, consultees and representatives on the Council's website, does not mean that the planning authority agrees or endorses these views, or confirms any statements of fact to be correct.

APPENDIX F



ROOF PLANS @ 1:200 SCALE

PROPOSED ROOF PLANS AND LOCATION PLAN

HILLTOWN, WOOLMET,
DALKEITH, MIDLOTHIAN

SCALE - 1: @ A3
DATE: AUG. 2012.

HOUSE TYPE 'A' AND 'B'

DRG NO. DR 02/ 602

gsmiarchitecture

greig@gsmarchitecture.co.uk T 0131 258 2138
W gsmarchitecture.co.uk M 07915 600 871

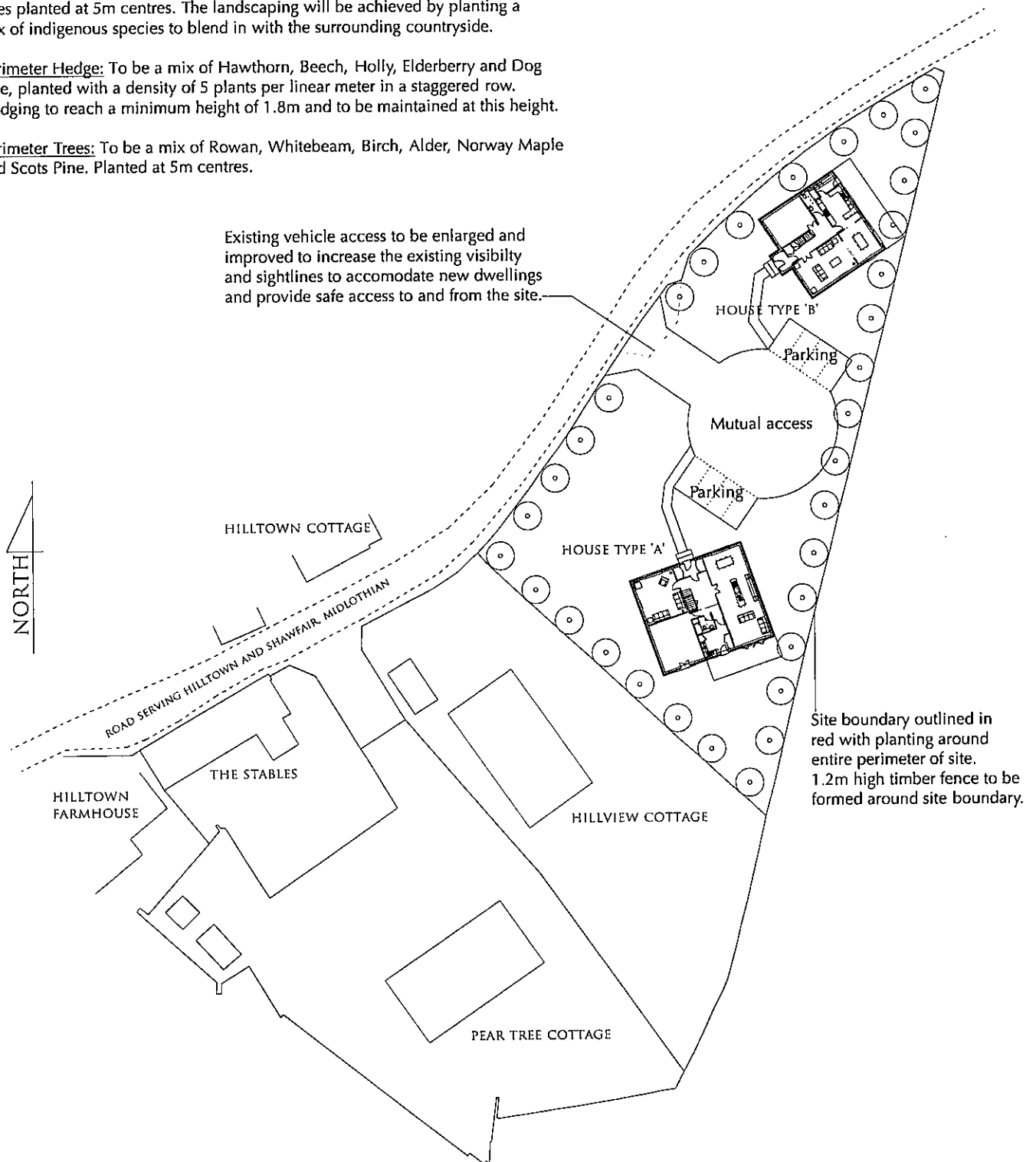
HOUSE TYPE 'A' AND 'B'

PROPOSED LANDSCAPING DETAILS:

The entire perimeter of the proposed development site footprint will be fully planted and screened as a woodland edge, acting as a visual barrier to the surrounding areas. This will be created by means of a perimeter hedge with trees planted at 5m centres. The landscaping will be achieved by planting a mix of indigenous species to blend in with the surrounding countryside.

Perimeter Hedge: To be a mix of Hawthorn, Beech, Holly, Elderberry and Dog rose, planted with a density of 5 plants per linear meter in a staggered row. Hedging to reach a minimum height of 1.8m and to be maintained at this height.

Perimeter Trees: To be a mix of Rowan, Whitebeam, Birch, Alder, Norway Maple and Scots Pine. Planted at 5m centres.

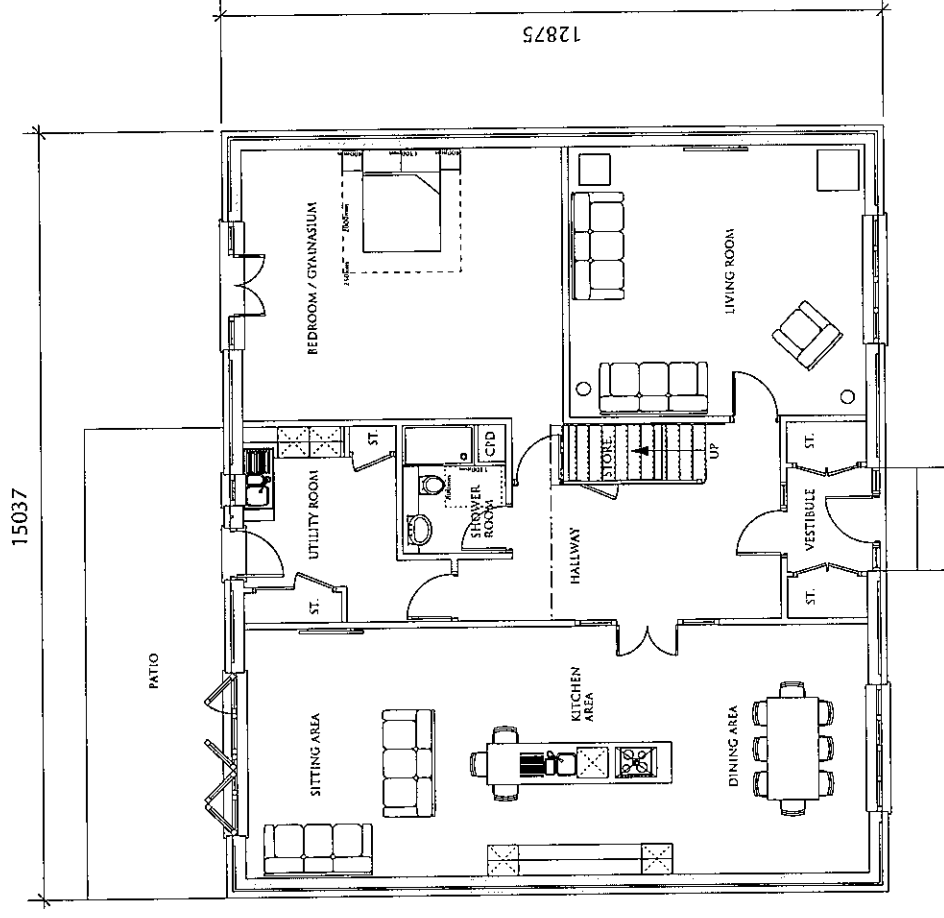


PROPOSED SITE PLAN AND LANDSCAPING

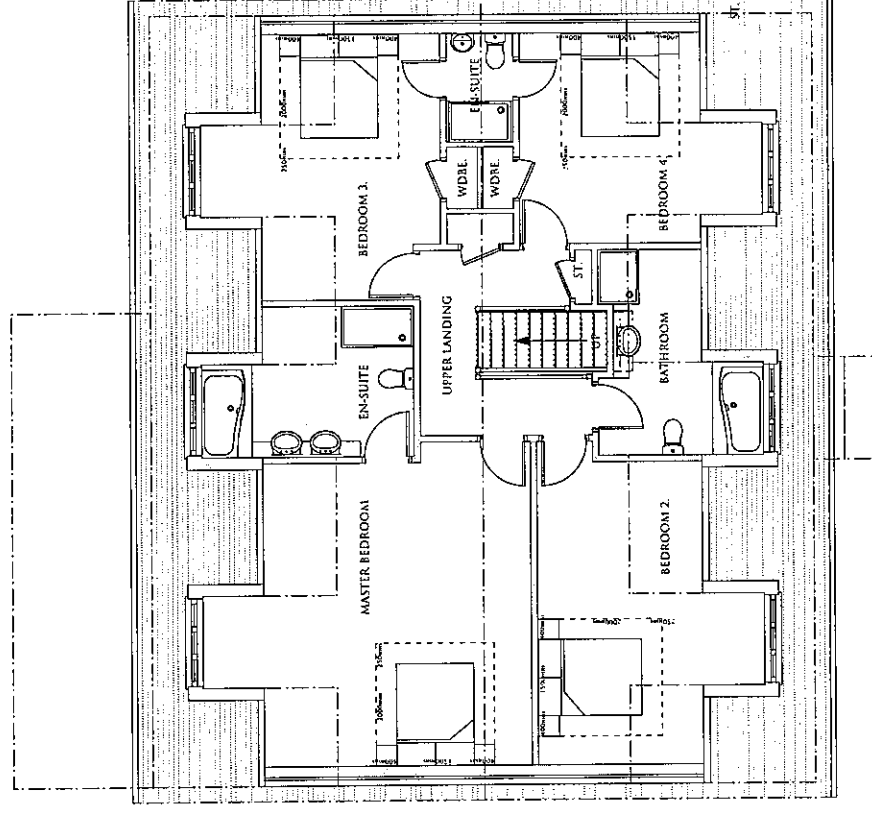
HILLTOWN, WOOLMET,
DALKEITH, MIDLOTHIAN

SCALE - 1:500 @ A3
DATE: Dec. 2011.

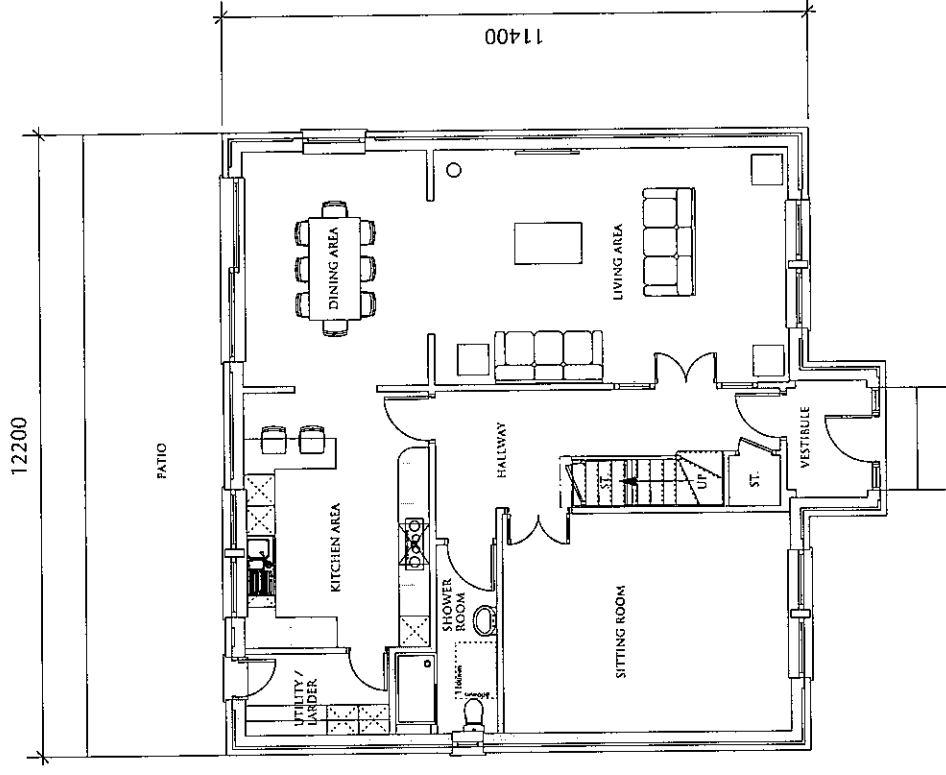
DRG NO. DR 02/ 601
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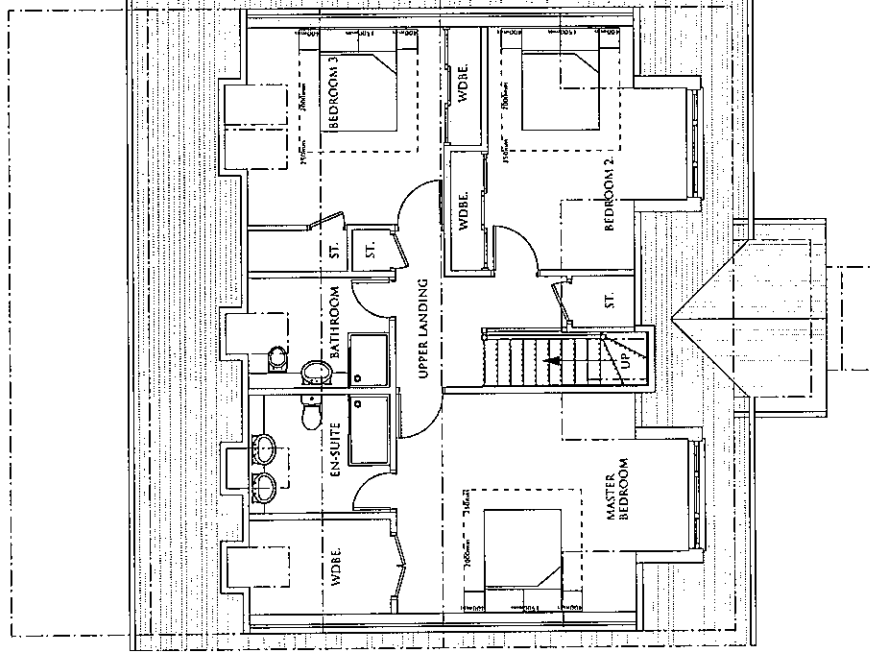
PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

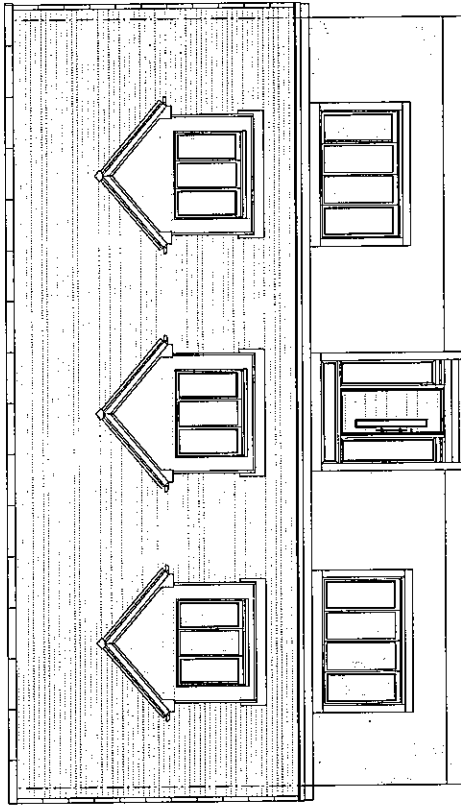


PROPOSED GROUND FLOOR PLAN



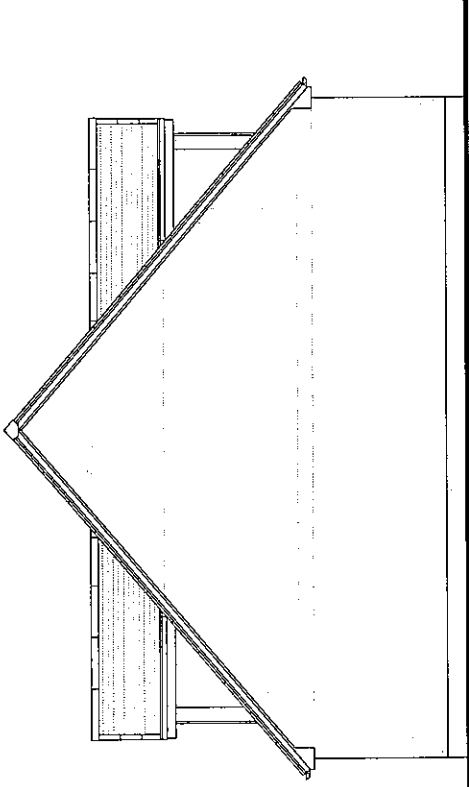
PROPOSED FIRST FLOOR PLAN

External windows and doors: To be high quality 'Redwood' double glazed units, Argon filled with Low emissivity 'K' glass, 4mm Optifloat, 8mm cavity units. Glazing type 'Duragreen' - providing band 'A' Energy Rating (WER).

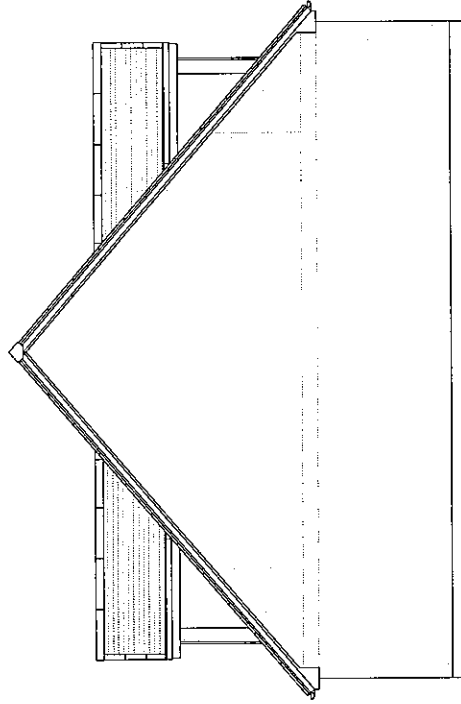


FRONT (NORTH) ELEVATION

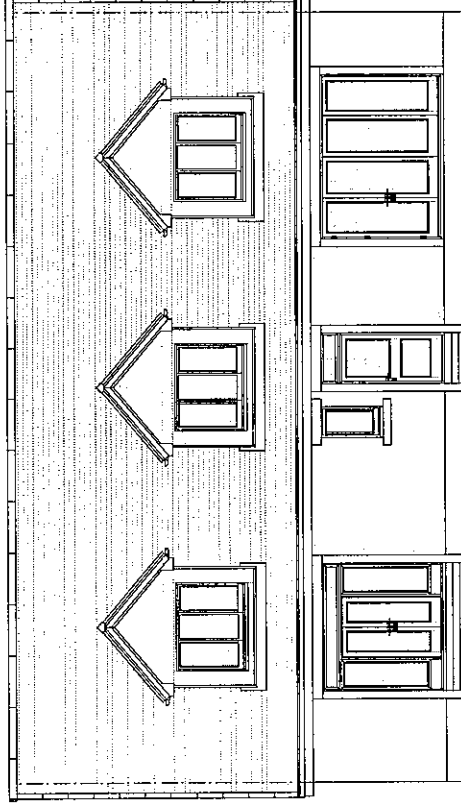
Roofing System: To be a natural grey slate pitched roofing finish, matching existing adjacent slate roofs in surrounding area. Samples are to be provided and approved prior to commencement of roofing works.
External soffits and fascia boards: To be dressed and treated 'Redwood' with soffit ventilation and insect protection.



SIDE (EAST) ELEVATION



SIDE (WEST) ELEVATION



REAR (SOUTH) ELEVATION

HOUSE TYPE 'A'

Proposed timber framed construction single storey cottage style dwelling house with a developed roofspace, incorporating dormer windows.

External walls: To be finished with a traditional wet-dash through render system. Window, door surrounds and lower bands to be finished with a smooth render (Colour to be confirmed on site.)

DRG NO. DR 02/ 107

PROPOSED ELEVATIONS

HILLTOWN, WOOLMET, DALKEITH, MIDLOTHIAN

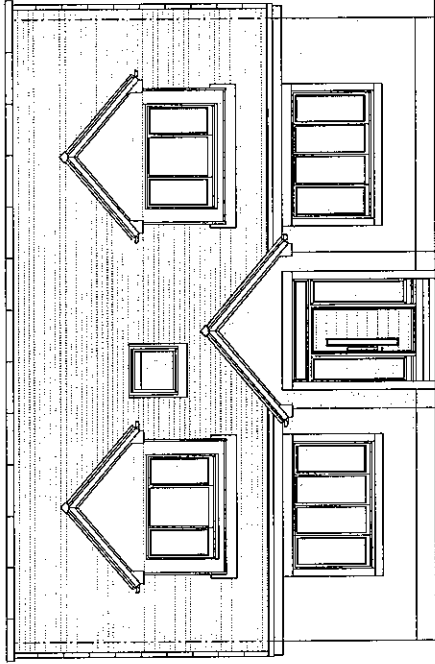
SCALE - 1:100 @ A3

DATE: Dec. 2011.

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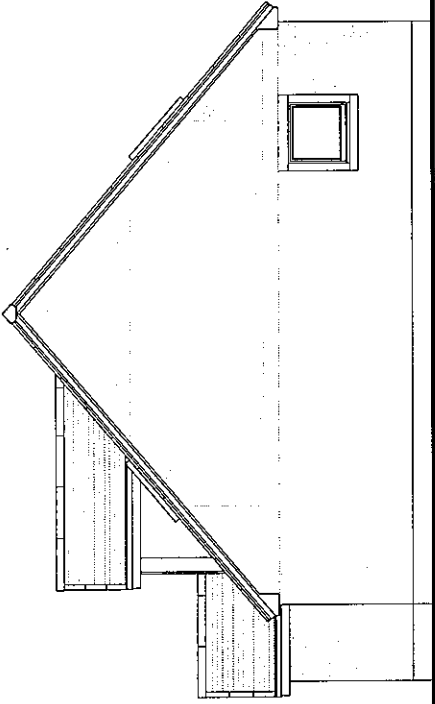
greig@gsmarchitecture.co.uk T 0131 258 2138
W www.gsmarchitecture.co.uk M 07915 400 871

External windows and doors: To be high quality 'Redwood' double glazed units, Argon filled with Low emissivity 'K' glass, 4mm Optifloat, 8mm cavity units. Glazing type 'Duragreen' - providing band 'A' Energy Rating (WER).

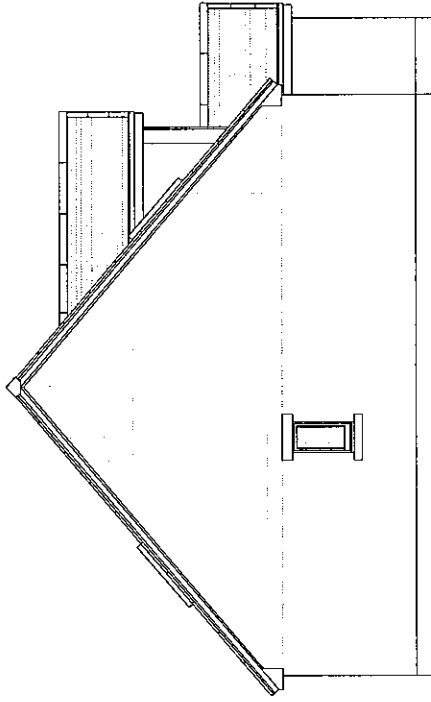


FRONT (WEST) ELEVATION

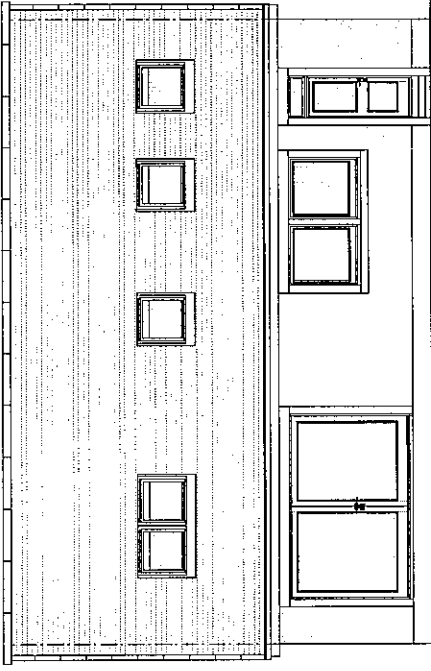
Roofing System: To be a natural grey slate pitched roofing finish, matching existing adjacent slate roofs in surrounding area. Samples are to be provided and approved prior to commencement of roofing works.
External soffits and fascia boards: To be dressed and treated 'Redwood' with soffit ventilation and insect protection.



SIDE (SOUTH) ELEVATION



SIDE (NORTH) ELEVATION



REAR (EAST) ELEVATION

HOUSE TYPE 'B'

Proposed timber framed construction single storey cottage style dwelling house with a developed roofspace, incorporating dormer windows.

External walls: To be finished with a traditional wet-dash through render system. Window, door surrounds and lower bands to be finished with a smooth render (Colour to be confirmed on site.)

PROPOSED ELEVATIONS

HILLTOWN, WOOLMET, DALKEITH, MIDLOTHIAN

SCALE - 1:100 @ A3

DATE: Dec. 2011.

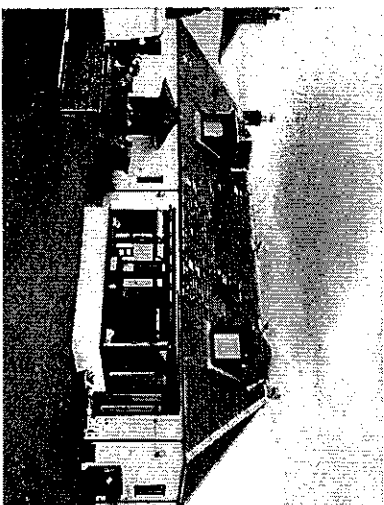
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HILLTOWN FARM



THE STABLES



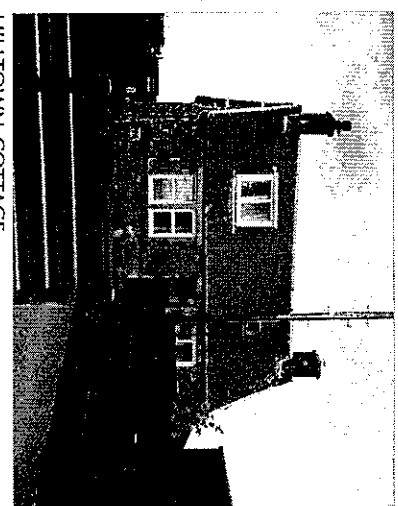
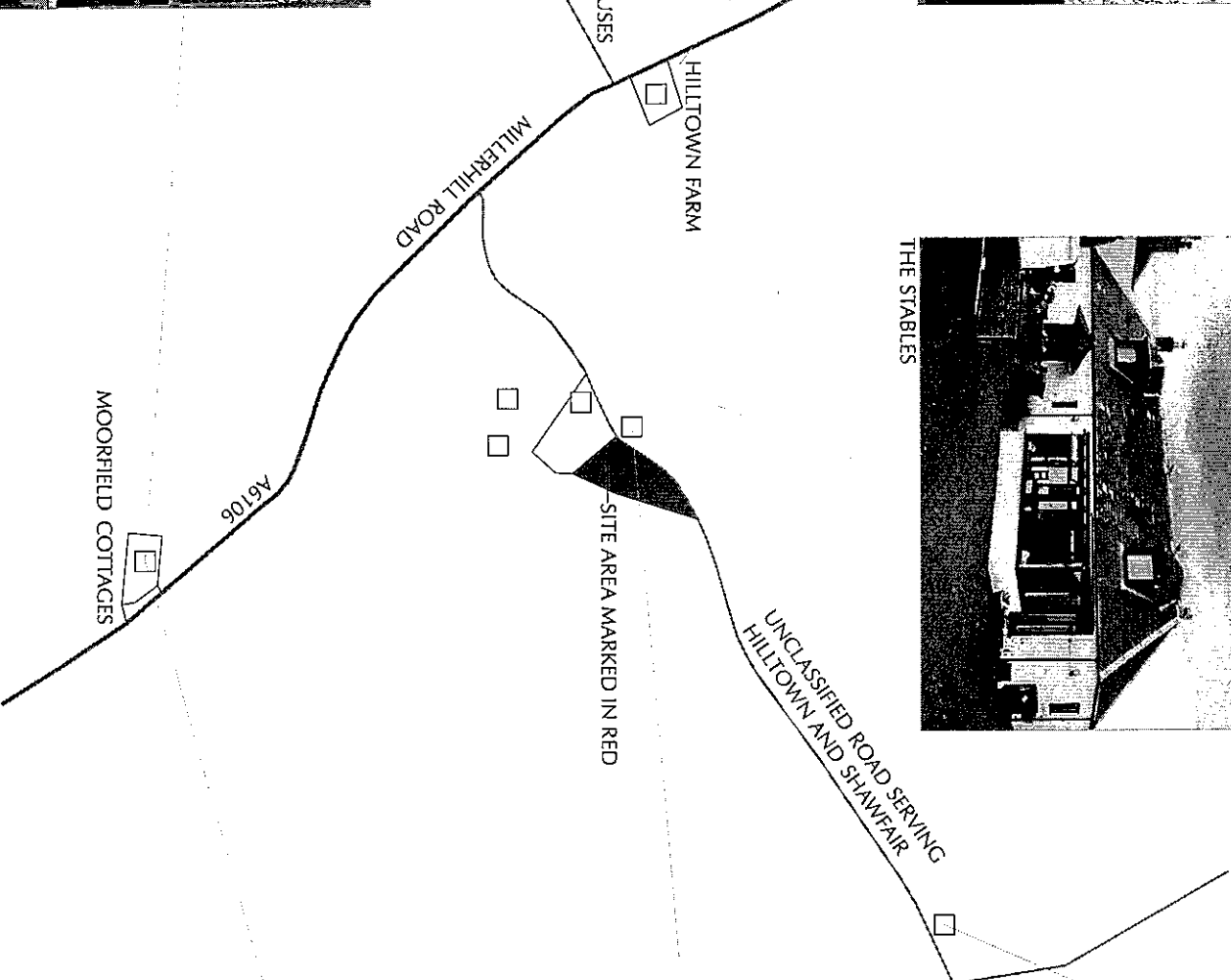
THE STABLES COTTAGES

- ☐ EXISTING SURROUNDING ONE 1/2 STOREY HOUSES WITH DEVELOPED ROOFSACES AND DORMERS.
- ☐ CONSENT APPROVED TWO AND 1/2 STOREY HOUSES WITH LARGE ZINC CLAD DORMERS, (PLANNING REF: 09/00137/FUL)

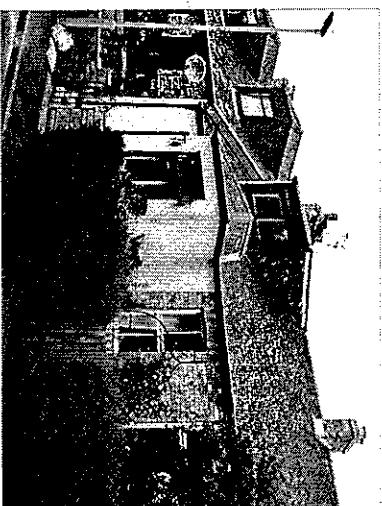
HILLTOWN FARM



MOORFIELD COTTAGES



HILLTOWN COTTAGE



MOORFIELD COTTAGES

MOORFIELD COTTAGES
 PHOTO SHEET TO ACCOMPANY DESIGN BRIEF
 HILLTOWN, WOOLMET, DALKEITH, MIDLOTHIAN

SCALE - DO NOT SCALE
 DATE: Aug. 2012.

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