

APPLICATION FOR PLANNING PERMISSION (24/00598/DPP) FOR THE CHANGE OF USE FROM FARM STORE TO CAFÉ (CLASS 3), FORMATION OF ASSOCIATED CAR PARKING AND DRAINAGE AND APPLICATION FOR LISTED BUILDING CONSENT (24/00599/LBC) FOR INTERNAL AND EXTERNAL ALTERATIONS ASSOCIATED WITH THE CHANGE OF USE FROM FARM STORE TO CAFÉ (CLASS 3) AT CARRINGTON MAINS, GOREBRIDGE

Report by Chief Officer Place

1 SUMMARY OF APPLICATION AND RECOMMENDED DECISION

- 1.1 The applications involve the change of use of an existing vacant dilapidated farm building to a café and associated internal and external alterations, the formation of an associated car park and drainage at Carrington Mains, Gorebridge.**
- 1.2 In relation to planning application 24/00598/DPP, there have been 27 representations and consultation responses from Scottish Water, Historic Environment Scotland, the Coal Authority, the Council's Ecological Advisor and the Council's Archaeology Advisor, the Council's Senior Manager Neighbourhood Services (Roads), the Council's Senior Manager Protective Services (Environmental Health) and the Moorfoot Community Council.**
- 1.3 In relation to listed building application 24/00599/LBC, there have been 16 representations and consultation responses from Historic Environment Scotland, the Council's Archaeology Advisor and the Moorfoot Community Council.**
- 1.4 The relevant development plan policies are policies 1, 2, 3, 4, 5, 6, 7, 9, 13, 14, 15, 22, 23, 24, 29 and 30 of National Planning Framework 4 (NPF4) and policies DEV2, DEV5, DEV6, DEV7, TRAN5, IT1, VIS1, RD1, ENV4, ENV6, ENV7, ENV10, ENV11, ENV15, ENV19, ENV20, ENV22 and ENV25 of the Midlothian Local Development Plan 2017 (MLDP).**
- 1.5 Also material to the assessment of the applications is Historic Environment Policy for Scotland (HEPS), Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and Historic Environment Scotland's**

Managing Change in the Historic Environment Guidance Notes on Doorways, External Walls, Gardens and Designed Landscapes, Interiors, Micro-Renewables, Roofs and Settings.

- 1.6 The recommendation is to grant planning permission and listed building consent subject to conditions.**

2 LOCATION AND SITE DESCRIPTION

- 2.1 The application site forms part of the Carrington Mains farm complex and associated land located at the southern edge of Carrington. The wider farm complex comprises a farmhouse, farm buildings and associated farmland and garden ground. The farm buildings are B listed and the farmhouse is C listed. The whole application site is within the Carrington Conservation Area.
- 2.2 The application site comprises one vacant farm building, part of a grazing field to the south and part of a field to the east. The site is bisected by a road connecting Carrington to the B6372 to the south. The site is relatively flat.
- 2.3 The farm building is within the built-up area of Carrington. The proposed drainage area is within the countryside, prime agricultural land and a special landscape area. The northern part of the car park is within the built-up area. The southern part is within the countryside, prime agricultural land, a special landscape area and the Arniston Designed Landscape.
- 2.4 There are fields to the south, west and east which are under the control of the applicant. There is an agricultural building to the south of the eastern part of the proposed car park, with single storey traditional cottages to the north. The remainder of the farm complex is to the north of the western area of the site, with the farmhouse to the west.
- 2.5 The built form of the area is largely single storey detached, semi-detached and terraced residential properties. These are generally finished in natural stone and render walls with slate, red tile or pantile roofs. The farm buildings are largely natural stone with either asbestos sheet, red pantile, slate or metal sheet roofs. The building within the site has natural stone walls with some areas of brick infill, white window units and red pantile roof.

3 PROPOSAL

- 3.1 Planning permission is sought for the change of use of an existing farm building to a café and associated alterations, the formation of a car park, drainage, external seating area and landscaping. Listed building consent is sought for the internal and external alterations to the farm building to enable the change of use.

- 3.2 The existing vacant building will be changed to a café with a kitchen, stores, internal seating for up to 20 people and toilets. Operating hours are intended to be Thursdays to Sundays 8am to 6pm and five staff are proposed to be employed. The café will sell bread, pastries, soup and hot drinks using one oven with extractor. Anticipated sales would be 50% sit in and 50% takeaway.
- 3.3 An external seating area is adjacent to the café, along with cycle parking, open space, decking, paving and planters. The existing planting will be retained where appropriate and supplemented with new planting.
- 3.4 The car park is in part of the field on the opposite side of the road to the café. This provides 15 car parking spaces running parallel to the shared boundary with the houses to the north at 1 Carrington Mains Cottages and 31 Main Street. Native hedgerow will be planted along this boundary. The car park will share the existing farm entrance which currently provides an access to the agricultural building to the south. The car park will be finished in a permeable surface and be illuminated by bollards powered by solar photovoltaic panels.
- 3.5 Foul water from the café will run to the existing public drain on Main Street. Surface water drainage will be to a soakaway within a grazing field to the south of the café building. The drainage will run under the existing driveway to the farmhouse.
- 3.6 A number of internal alterations to the farm building are proposed, including the removal and erection of a number of internal walls and removal and replacement of concrete flooring.
- 3.7 A number of external alterations are proposed. The existing roof will be removed and replaced with matching materials. Five conservation style rooflights and nineteen solar panels will be installed into/onto the roof. There will be repairs to walls, including rebuilding, the replacement of stone, repointing in lime mortar and the removal of cement pointing where appropriate. Two partially infilled openings will be reopened with new light grey aluminium clad glazed screens and doors installed with new stone lintels. A new window unit will be installed in an existing opening, with another existing window unit refurbished. A new door opening is to be formed with another existing opening to be widened, both fitted with a partially glazed door. The existing gates are to be replaced like for like, as are existing doors, window shutters and rainwater goods. Materials being removed will be used elsewhere within the site where possible.
- 3.8 A footpath was originally proposed to connect the car park to the footpath on Main Street, however this has been removed from the proposals.

- 3.9 The submissions state that the building is in a poor condition with water ingress and the proposed change of use is required to retain and protect the fabric of this listed building to prevent its loss.
- 3.10 The applications are accompanied by:
- Design and Access Statement
 - Ecology reports (including Bat Survey)
 - Schedule of Works report
 - Structural Survey
 - Arboricultural Assessment
 - Coal Mining Risk Assessment.

4 BACKGROUND

- 4.1 The application site forms part of a wider farm complex where there have been previous applications. The following covers this wider area and includes the building within the current site boundary.
- 4.2 Planning application 15/00733/DPP, for the conversion and alterations to steading buildings to form dwellinghouse and four work units and formation of car park and access, and listed building application 15/00734/LBC, for the conversion and alterations to steading buildings to form dwellinghouse and four work units, were submitted in 2015. These applications were subsequently withdrawn.
- 4.3 Planning application 16/00521/DPP, for the conversion and alterations to steading buildings to form dwellinghouse and four work units and formation of car park and access, and listed building application 16/00522/LBC, for the conversion and alterations to steading building to form dwellinghouse and four work units, were submitted in 2016. These applications were approved with conditions and both permissions have been partially implemented.
- 4.4 The applications have been 'called-in' for determination by the Committee by Councillor Bowen. Councillor Bowen has called-in the applications in due to the volume of comments and concerns raised within the Carrington community.

5 CONSULTATIONS

- 5.1 **Scottish Water** does not object to the applications. The water supply will be fed from Rosebery Water Treatment Works. The foul water drainage will be dealt with by the Carrington Waste Water Treatment Works. Both have sufficient capacity at present, however it is not possible to reserve capacity for future developments. This will be subject to a separate regulatory process between the applicant and Scottish Water.

- 5.2 For reasons of sustainability and to protect Scottish Water customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into the combined sewer system. There may be limited exceptional circumstances where Scottish Water allow such a connection for brownfield sites only, however this will require significant justification from the developer taking account of various factors including legal, physical and technical challenges.
- 5.3 **Historic Environment Scotland (HES)** support the proposal, stating the alterations are an appropriate response to bring the building back into use and would secure the long-term future of the B listed building. Furthermore, HES does not object in relation to any potential impact on the Arniston Garden and Designed Landscape.
- 5.4 The **Coal Authority** does not object to the applications but recommends conditions be attached to any grant of planning permission/listed building consent to ensure coal mining history in the area has been fully mitigated and addressed.
- 5.5 The **Council's Ecological Advisor – The Wildlife Information Centre (TWIC)** does not object to the applications and has confirmed that both the Preliminary Ecological Appraisal and the updated Bat Survey are thorough and professional. No additional surveys are required, but the developer should comply with the recommendations in the reports.
- 5.6 The **Council's Archaeology Advisor** does not object to the applications but states that a programme of archaeological works comprising historic building recording, monitored soil strip and watching brief is necessary. This can be secured by a condition on any grant of planning permission/listed building consent.
- 5.7 The **Council's Senior Manager Neighbourhood Services (Roads)** does not object to the applications. Adequate sightlines can be achieved from the car park egress without the full removal of existing landscaping adjacent the car park entrance/exit - the vegetation around the tree in the landscaped area should be removed and the hedgerow lowered to a maximum of 1 metre high.
- 5.8 The **Council's Senior Manager Protective Services** does not object to the applications in terms of noise or smell and state Scottish Water should be consulted in relation to drainage.
- 5.9 The **Moorfoot Community Council** welcomes the renovation of the building and state some residents support the proposal, with others raising the following concerns:
- The proposal would exacerbate existing drainage issues. If planning permission is approved a condition should be attached

to ensure drainage is brought up to standard and future proofed to ensure there are no further problems in the village.

- The impact of the car park on the adjacent properties, along with security issues when the car park is not in use. A locked barrier gate and CCTV should be installed to prevent use when the café is closed. Lighting should be provided for customers but minimise light pollution and not impact residents when the café is closed;
- Road safety as the location of the car park on the opposite side of the road from the café. A crossing should be installed;
- Road safety as there is poor visibility when exiting the car park;
- The proposal pathway is not required as there is no public bus service; and
- The proposed cycle parking is not appropriate.

5.10 The consultation responses are available to view in full on the online application case files.

6 REPRESENTATIONS

6.1 There have been 27 representations received relating to the detailed planning application and 16 to the listed building application, which can be viewed in full on the online application case files.

6.2 For planning application 24/00598/DPP, 11 representors object, 13 support and three are neutral. A summary of the main points raised are as follows:

Objections

- The proposal would change the peaceful and quite character of the village and have a detrimental impact on residents;
- The proposal would bring significant numbers of visitors to the area to the detriment of residents and would be better suited elsewhere;
- People who live in Carrington are aware there are no amenities. This is clear from the limited turnover of properties;
- Impact on the amenity, privacy and security of properties adjoining the car park, along with noise, light and air pollution from the car park;
- The proposed hedge is not enough to provide wildlife habitat or provide privacy to neighbouring properties;
- The proposal does not comply with MLDP policy RD1 due to impact on nearby residents, is not appropriate to the local area and is not accessible by public transport;
- Impact on the landscape character of the area;
- No details of the business plan or footfall have been provided;
- Loss of wildlife habitat;

- Road safety concerns due to an increase in traffic, pedestrians crossing the road between the café and car park and vehicle speeds in the area;
- There is no public transport so visitors would come by car or bike;
- If approved, the car park should be locked and only open when the café is open to prevent vehicles staying overnight and people gathering, which would create noise and nuisance;
- Some concerns could be resolved by moving the car park beside the proposed soakaway or using the existing steading;
- The proposal will result in additional vehicle movements when the Council is upgrading houses to meet eco requirements;
- The proposal would exacerbate sewerage issues in the area;
- The proposed drainage would need upgrading if the rest of the farm complex is developed which may result in additional disturbance. The drainage works should be futureproofed;
- The building fabric will continue to deteriorate as only works to the one building is proposed;
- Potential impact on the village hall which runs coffee mornings and events which benefits the community;
- The proposal does not support rural employment or people but visiting people;
- Planning permission was previously approved for a house at the site, along with 4 work units in the farm complex. This would be more welcome and less disruptive to the area;
- The existing building could provide residential accommodation;
- The farm buildings were originally intended for storage and should be retained as such rather than for commercial purposes. This would be beneficial for local residents;
- No formal notification has been sent;
- Litter from the proposed use;
- Existing issues over litter, dog fouling, poor driving, fly tipping and animal road deaths will be exacerbated;
- A large number of catering businesses fail within the first 18 months. If this happens, the village landscape will have been permanently disrupted to no avail; and
- The need for a café is questionable.

Supporting

- The refurbishment of existing buildings to extend their use is welcome, especially as the building is prominent in the conservation area at the entrance to the village;
- The car park is in an overgrown paddock which is an eyesore;
- The car park should include electric vehicle charging points;
- The proposal will bring diversification for the rural economy;
- The café will provide five rural jobs in an area where it is impossible to use public transport to get to work;
- Some activity is needed and the café would develop and better the village;

- The café will not affect the village hall coffee mornings and activities but complement this and these could work together;
- The proposed café will form part of an established bakery business;
- Cyclists currently use the cycle route stop to rest in the village green and leave the area as found;
- The café would allow local residents, community groups and visitors to meet and could be well used by the community;
- The archaeology condition will allow an opportunity to find out more about the history of the site; and
- A shop could be provided on site for basic goods and local produce that could benefit the community.

6.3 Some supporters raised similar concerns to objectors in relation to: public transport; impact on the amenity of local residents; road safety; the location of the car park; and drainage. Concerns were also raised over sewage sludge being stored in the area.

Neutral

- Support for the works to the dilapidated buildings;
- Potential impact on listed buildings;
- Security issues for the houses adjacent to the car park;
- Insufficient information submitted to fully assess the café in relation to footfall and how customers may arrive. The impact on the area cannot be assessed;
- Concern over the impact of the café on the adjacent properties;
- Concern over the impact of the car park on the surrounding environment and wildlife;
- Concerns the solar powered bollards will be insufficient during winter and if the lighting will be controlled to ensure no disturbance outwith the café opening hours;
- Road safety concerns including potential increase in traffic, increase in road safety issues, queries if signage proposed to warn customers of large vehicles using the road, pedestrians crossing the road between the car park and café, poor visibility from the car park;
- Comments over the proposed cycle parking provision;
- Disabled access between the café and car park is unclear;
- The parking area seems excessive for the size of café and is likely to attract non-café users;
- Query over how the reduction in hedge height to achieve visibility splays will be maintained;
- It is unclear how a café would benefit local residents, for example incorporating a small shop or tidying the areas around the farm buildings onto Main Street;
- Litter from additional vehicles;
- Potential impact on drainage in the area;
- Queries if the soakaway is designed to take rainwater from the farm building;

- Query if this part of a larger scheme for the farm buildings; and
- It is a shame there has been no interaction between the operator of the café and the community about the proposal.

6.4 In relation to the listed building consent application, 24/00599/LBC, five representors object, 10 support and one is neutral. A summary of the main points raised are as follows:

Objections

Four submissions are the same as those to 24/00598/DPP. The remainder make the following comments;

- Significant detrimental impact on the quiet, traditional rural village and creating noise, nuisance and will disrupt the lives of residents;
- Road safety concerns, relating to increased pedestrian and vehicular traffic and the ability for existing roads to accommodate;
- The car park would impact the privacy of adjacent houses; and
- Visitors may park on roads and obstruct farm vehicles.

Supporting

Nine submissions are the same as those to 24/00598/DPP. The other submission did not include any comments.

Neutral

The neutral comment is the same submission made to 24/00598/DPP.

7 PLANNING POLICY

7.1 The development plan is comprised of National Planning Framework 4 (2023) and the Midlothian Local Development Plan 2017.

7.2 The following policies are relevant to the proposals:

National Planning Framework 4 (NPF4)

7.3 Policy **1 Tackling the climate and nature crises**; sets out to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis.

7.4 Policy **2 Climate mitigation and adaptation**; sets out to encourage, promote and facilitate development that minimises emissions and adapts to the current and future impacts of climate change.

7.5 Policy **3 Biodiversity**; sets out to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks.

- 7.6 Policy **4 Natural Places**; sets out to protect, restore and enhance natural assets making best use of nature-based solutions.
- 7.7 Policy **5 Soils**; sets out to protect carbon-rich soils, restore peatlands and minimise disturbance to soils from development. The policy also sets out acceptable scenarios for development on prime agricultural land.
- 7.8 Policy **6 Forestry, woodland and trees**; sets out to protect and expand forests, woodland and trees.
- 7.9 Policy **7 Historic assets and places**; sets out to protect and enhance historic environment assets and places, and to enable positive change as a catalyst for the regeneration of places.
- 7.10 Policy **9 Brownfield, vacant and derelict land and empty buildings**; sets out to encourage, promote and facilitate the reuse of brownfield, vacant and derelict land and empty buildings, and to help reduce the need for greenfield development.
- 7.11 Policy **13 Sustainable Transport**; sets out to encourage, promote and facilitate developments that prioritise walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably.
- 7.12 Policy **14 Design, quality and place**; sets out to encourage, promote and facilitate well designed development that makes successful places by taking a design-led approach and applying the Place Principle
- 7.13 Policy **15 Local Living and 20 minute neighbourhoods**; sets out to encourage, promote and facilitate the application of the Place Principle and create connected and compact neighbourhoods where people can meet the majority of their daily needs within a reasonable distance of their home, preferably by walking, wheeling or cycling or using sustainable transport options.
- 7.14 Policy **22 Flood risk and water management**; sets out to strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding.
- 7.15 Policy **23 Health and Safety**; sets out to protect people and places from environmental harm, mitigate risks arising from safety hazards and encourage, promote and facilitate development that improves health and wellbeing.
- 7.16 Policy **24 Digital Infrastructure**; sets out to encourage, promote and facilitate the rollout of digital infrastructure across Scotland to unlock the potential of all our places and the economy.

- 7.17 Policy **29 Rural development**; sets out to encourage rural economic activity, innovation and diversification whilst ensuring that the distinctive character of the rural area and the service function of small towns, natural assets and cultural heritage are safeguarded and enhanced.
- 7.18 Policy **30 Tourism**; sets out to encourage, promote and facilitate sustainable tourism development which benefits local people, is consistent with our net zero and nature commitments, and inspires people to visit Scotland.

Midlothian Local Development Plan 2017 (MLDP)

- 7.19 Policy **DEV2: Protecting Amenity within the Built-Up Area** states that development will not be permitted within existing and future built-up areas where it is likely to detract materially from the existing character or amenity of the area.
- 7.20 Policy **DEV5: Sustainability in New Development** sets out the requirements for development with regards to sustainability principles.
- 7.21 Policy **DEV6: Layout and Design of New Development** states that good design and a high quality of architecture will be required in the overall layout of development proposals. This also provides guidance on design principles for development, materials, access, and passive energy gain, positioning of buildings, open and private amenity space provision and parking.
- 7.22 Policy **DEV7: Landscaping in New Development** requires development proposals to be accompanied by a comprehensive scheme of landscaping. The design of the scheme is to be informed by the results of an appropriately detailed landscape assessment.
- 7.23 Policy **TRAN5: Electric Vehicle Charging** seeks to support and promote the development of a network of electric vehicle charging stations by requiring provision to be considered as an integral part of any new development or redevelopment proposals.
- 7.24 Policy **IT1: Digital Infrastructure** supports the incorporation of high speed broadband connections and other digital technologies into new homes, business properties and redevelopment proposals.
- 7.25 Policy **VIS1: Tourist Attractions** states the establishment of new, or expansion of existing, tourism-related development will be supported where it can be demonstrated that it improves the quality of visitor facilities or extends the tourism offering within Midlothian, subject to the Council being satisfied that there are no significant negative

environmental or amenity impacts and that the proposal accords with all other policies in the plan.

- 7.26 Policy **RD1: Development in the Countryside** sets out where appropriate development would be acceptable in the countryside subject to defined criteria. The policy states that proposals for development will be of an appropriate scale and character appropriate to the rural area and well integrated to the rural landscape.
- 7.27 With regard to business in the countryside policy **RD1** states that development opportunities that will enhance rural economic development opportunities will be permitted if:
- They are of a scale and character appropriate to the rural area and well integrated into the rural landscape; and
 - They are capable of being serviced with an adequate and appropriate access; and
 - They are capable of being provided with drainage and a public water supply at reasonable cost, or an acceptable private water supply, unacceptable discharge to watercourses; and
 - They are accessible by public transport and services (where appropriate); and
 - They are not primarily of a retail nature; and
 - They do not harm the amenity of nearby residents through unacceptable levels of noise, light or traffic.
- 7.28 Policy **ENV4: Prime Agricultural Land** does not permit development that would lead to the permanent loss of prime agricultural land unless there is appropriate justification to do so.
- 7.29 Policy **ENV6: Special Landscape Areas** states that development proposals will only be permitted where they incorporate high standards of siting and design and where they will not have significant adverse effect on the special landscape qualities of the area.
- 7.30 Policy **ENV7: Landscape Character** states that development will not be permitted where it significantly and adversely affects local landscape character. Where development is acceptable, it should respect such character and be compatible in terms of scale, siting and design. New development will normally be required to incorporate proposals to maintain the diversity and distinctiveness of the local landscapes and to enhance landscape characteristics where they have been weakened.
- 7.31 Policy **ENV10: Water Environment** requires that new development pass surface water through a sustainable urban drainage system (SUDS) to mitigate against local flooding and to enhance biodiversity and the environment.

- 7.32 Policy **ENV11: Woodland, Trees and Hedges** states that development will not be permitted where it could lead directly or indirectly to the loss of, or damage to, woodland, groups of trees (including trees covered by a Tree Preservation Order, areas defined as ancient or semi-natural woodland, veteran trees or areas forming part of any designated landscape) and hedges which have a particular amenity, nature conservation, biodiversity, recreation, landscape, shelter, cultural, or historical value or are of other importance.
- 7.33 Policy **ENV15: Species and Habitat Protection and Enhancement** presumes against development that would affect a species protected by European or UK law.
- 7.34 Policy **ENV19: Conservation Areas** states that development will not be permitted within or adjacent to conservation areas where it would have any adverse effect on its character or appearance.
- 7.35 Policy **ENV20: Nationally Important Gardens and Designed Landscapes** states development should protect, and where appropriate enhance, gardens and designed landscapes. Development will not be permitted which would harm the character, appearance and/or setting of a garden or designed landscape as identified in the *Inventory of historic Gardens and Designed Landscapes*.
- 7.36 Policy **ENV22: Listed Buildings** does not permit development which would adversely affect the character or appearance of a listed building, its setting or any feature of special architectural or historic interest.
- 7.37 Policy **ENV25: Site Assessment, Evaluation and Recording** requires that where development could affect an identified site of archaeological importance, the applicant will be required to provide an assessment of the archaeological value of the site and of the likely impact of the proposal on the archaeological resource.

Other National Legislation and Policy

- 7.38 Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 Section 59(1) places a duty on planning authorities when dealing with proposals to have special regard to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses. Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 Section 14(2) places a duty on planning authorities when dealing with listed building applications to have special regard to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses. Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 places a duty on planning

authorities to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas.

- 7.39 **Historic Environment Policy for Scotland (HEPS)** seeks wherever possible to protect conserve or enhance the special characteristics and qualities of the historic environment.
- 7.40 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – Doorways** states that doorways and associated features of a historic building form important elements in defining their character. This provides guidance on repairs and alterations to existing doors and the formation of new and blocking up existing doorways.
- 7.41 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – External Walls** states that the external walls of a historic building are an important element in defining its character. This provides guidance on the maintenance and appropriate repair of walls, including replacement stone and repointing and formation of new openings.
- 7.42 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – Gardens and Designed Landscapes** states that to ensure the most important gardens and designed landscapes survive, change should be managed to protect and, where appropriate, enhance the significant elements. Development should avoid significant adverse impact on such sites. Where this is not practical, impacts should be mitigated by careful design and avoid the more sensitive parts of an Inventory site.
- 7.43 **Historic Environment Scotland - Managing Change in the Historic Environment Guidance Notes – Interiors** states that the interior of a historic building is important in defining its character and special interest and that room proportions are important to the integrity of a design. It also states that alterations must be carefully planned and located to best protect the interest of the internal spaces.
- 7.44 **Historic Environment Scotland - Managing Change in the Historic Environment Guidance Notes – Micro-renewables** states the use of renewable energy technology in the historic environment is supported where the character of the historic building or place can be protected through careful siting and design. Micro-renewable installations should be planned carefully to minimise intervention affecting historic character while balancing the potential of available renewable energy sources. Where possible installations should avoid main and visible elevations and be on secondary parts of the building, adjacent outbuildings or on the ground nearby. Any intervention to historic fabric should be minimised and undertaken only after careful analysis and design of the system. It is usually desirable to mount solar panels over existing slates rather than replace historic fabric with look-alike

materials. Installation of solar panels on the principal elevation of a historic building should be avoided. Solar systems on roofs can be heavy and an appropriate survey should be carried out to determine the structural impact and safety of such systems.

- 7.45 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – Roofs** states that roofs and associated features form important elements in defining their character. Alterations and repairs to roofs and their associated features should protect the character of the historic building.
- 7.46 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – Settings** states that the setting can be important to the way in which historic structures or places are understood, appreciated and experienced. It can often be integral to a historic asset's cultural significance.

8 PLANNING ISSUES

- 8.1 For 24/00598/DPP, the main planning issue to be considered in determining this application is whether the proposal complies with development plan policies unless material planning considerations indicate otherwise. The representations and consultation responses received are material considerations.
- 8.2 For 24/00599/LBC, Section 59 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997, National Planning Framework 4 (NPF4) and the Historic Environment Scotland Policy guidance state in assessing an application for listed building consent a duty is placed on planning authorities to pay special attention to the desirability of preserving or enhancing the building or its setting or any features of special architectural or historic interest which it possesses.

NPF4 and Sustainability

- 8.3 The primary focus of the NPF4 planning policies seek for developments to be sustainable and give consideration to the global climate and nature crises. In response to NPF4 the applicant's agent has stated:
- The proposal seeks to reuse an existing vacant listed building which is in poor condition;
 - The alterations will improve the insulation and fabric of the building to improve overall energy efficiency and achieve BS standards;
 - Any roof and wall materials will be reused on site where possible;
 - The site is within 1 mile of hourly bus service with a link to public transport, walking routes and the cycle network;
 - Solar panels will power the building and lighting in the car park;
 - Cycle parking is proposed;
 - New native planting is proposed, along with the retention and enhancement of existing planting;

- The use of rain gardens, pergolas and living screens are being explored to encourage climbing plants and wildlife; and
 - Bat and bird boxes are proposed.
- 8.4. The application site is within the relatively remote countryside and is therefore not generally considered to be a sustainable location. The site is just outwith 1 mile from local services and a bus route, so the majority of trips to the site (not carried out by local residents) are likely to be done by private car, which is not in line with NPF4's focus on sustainability. The use of zero and low carbon technology, native landscaping and the provision of bat and bird boxes would all be expected as standard in proposals and are not extra measures which help address the climate and nature crises.
- 8.5. However, the proposal would bring a redundant building back into use. NPF4 policy 9 states that development proposals which result in the sustainable reuse of brownfield land including vacant and derelict land and buildings will be supported. In determining whether the reuse is sustainable the biodiversity value of brownfield land which has naturalised should be taken into account. There is landscaping and trees within the site along with potential for wildlife in the building and the surrounding area which could be improved and enhanced. The proposed external seating area by the café and the area around the car park could result in enhanced biodiversity through the planting of appropriate landscaping and the installation of wildlife enhancement features.
- 8.6. On balance, although the site is in a relatively remote location, it will result in the reuse of an existing redundant building and could improve the biodiversity value of the area. In this instance, the benefits of the proposal along with the context of the existing buildings in the area is acceptable in terms of sustainability.

Principle of Development

- 8.7. The building has been vacant for some time and is in a poor condition. The building is category B listed and so its retention and repair is of high importance and a significant material consideration. The building is also within the built-up area where there is a presumption in favour of development where it would not detract materially from the existing character or amenity of the area. Therefore, the principle of the change of use is acceptable.
- 8.8. The majority of the car park (approximately 80%) is within the built-up area where there is a presumption in favour of development, with the remainder and the drainage infrastructure falling within the designated countryside. The limited nature of the works proposed in the countryside are compatible with its location, facilitate the reuse of a brownfield site and support a 'rural' business.

- 8.9 This area which is within the countryside is also designated as prime agricultural land. This comprises part of a field not used for agricultural purposes but as an area of landscaping, hardstanding and an agricultural building, along with an area of grazing land. Due to the nature of the works, the proposal would not result in any loss of prime agricultural land as compared to the existing situation.

Proposed Café

- 8.10 The café would reuse a vacant category B listed building in poor condition. This building, even if its current condition, has a significant positive contribution to the surrounding village, landscape character and historic interest of the area and its retention, repair and reuse is welcomed.
- 8.11 The café would open Thursdays to Sundays from 8am to 6pm with a maximum of five staff and internal seating for 20 people. This is relatively low scale and appropriate at this location within the built-up area of a rural village.
- 8.12 The closest residential building to the café, which would be most affected by the use, is the farmhouse, which is under the ownership of the applicant. Due to the distance to other residential properties, there would be limited, if any, impact on the amenity of these properties as a result of the café use.

Alterations to Building and Area Around Cafe

- 8.13 The proposed alterations would address the poor condition of the building which has resulted from water ingress, repair and protect the fabric of the B listed building and prevent its permanent loss. The alterations are an appropriate response to bring the building back into use and secure the long-term future of the B listed building. The removal and replacement of the roof with materials to match existing, along with the retention of the existing materials for use elsewhere is welcomed. This will address the water ingress which is damaging the fabric of the building.
- 8.14 Five rooflights and 19 solar panels are proposed. The rooflights and seven of the solar panels are proposed on a prominent elevation visible from the B6372 to the south. The position, design and size of the conservation style rooflights are generally acceptable, with some in place of clear tiles on the existing roof. Four solar panels are set back from the road behind a projecting roof feature and so have a limited impact on the character and appearance of the listed building and surrounding conservation area. The remaining three solar panels are at prominent part of this elevation, close to the road and highly visible on approach from the south. These would have a significant detrimental impact on the character and appearance of this part of the B listed building and the surrounding conservation area and so should

not be supported. The remaining 12 solar panels are on a secondary elevation facing the farmhouse and farm complex and have a limited impact on the character and historic interest of the listed building and surrounding conservation area.

- 8.15 The walls are to be repaired where necessary, with damaged or missing stones replaced or rebbed. Coping stones are to be replaced and cement pointing removed where appropriate. Any new stone is to match existing and any new pointing will be with a lime based mortar.
- 8.16 Existing openings are reused with existing window units being refurbished or replaced with timber units. Existing areas of brick infill will be removed and new glazed openings formed in the original openings. Any new or altered door openings are in keeping with the character and historic interest of the building. Existing shutters are to be repaired and repainted. All rainwater goods will either be repaired or replaced like for like. The existing pend gates are to be replaced like for like.
- 8.17 Internally some non-load bearing walls are to be removed, the concrete floor removed and replaced and new stud partition walls installed. There are no features of historic interest which would be lost or altered as a result of these works.
- 8.18 The external seating area is adjacent to the café and set within existing walling. This includes decking, paving, planters, cycle parking and bin storage/recycling, along with the retention of existing planting and new planting. These alterations are in keeping with the character of the listed building and would have a limited impact on the amenity of the surrounding conservation area, however details of the proposed materials of any hardstanding, cycle parking and landscaping are required to ensure these are appropriate.

Car Park

- 8.19 The car park will share the existing access to the agricultural building to the south. This area will provide 15 parking spaces and have a will have a permeable surface.
- 8.20 The Council's Senior Manager Neighbourhood Services (Roads) initially raised concerns over visibility splays and the impact of existing landscaping. After further consideration they confirmed adequate sightlines can be achieved without the full removal of existing landscaping. The vegetation around the tree to the north can be removed and the hedgerow to the south lowered to a maximum of 1 metre high. They have not raised any other road safety concerns.
- 8.21 The parking spaces are perpendicular to the shared boundary with 1 Carrington Mains Cottages and 31 Main Street. Native hedgerow is to

be planted along this boundary. This will not only protect the privacy and amenity of the houses once established but also provide biodiversity value.

- 8.22 Low level LED bollard lighting will be powered by solar panels. This should be sufficient to provide adequate light to the car park and also ensure there is no adverse light impacts on the surrounding sensitive area or adjacent properties. Further details of the lighting and solar panels are required to ensure they are acceptable. It would be reasonable for lighting to be controlled so that it is only on during café operating hours.
- 8.23 There is potential for the car park to be used outwith the hours of operation of the café which could result in noise, disturbance and detrimental impact on the amenity of surrounding residents. It would be reasonable for the car park use to be restricted to being open only during the hours the café operates and details of a system to ensure this is the case, such as a lockable gate, could be conditioned. A pole mounted CCTV is proposed, details of which can be secured by a condition on any grant of planning permission.
- 8.24 The car park would be viewed alongside the existing agricultural building and the houses and so would have a limited impact on the character and appearance of the special landscape area and the Aniston Garden and Designed Landscape as compared to the existing situation. The retention of the trees to the south and new planting to the north would help soften and integrate the development into the sensitive area.
- 8.25 A litter bin is proposed in the car park area, details of which should be submitted for approval. The parking area should also include electric vehicle charging points which can be secured by a condition on a grant of planning permission. Due to the size of the car park, it is unlikely that it would create a significant amount of air pollution.

Drainage

- 8.26 There is no foul drainage in the existing building but there is existing drainage within the wider farm complex site which is to be repaired. New foul drainage will run through the farm complex and under the farm buildings and connect to the public connection on Main Street. Scottish Water has no objection to this. Scottish Water have confirmed that there is currently capacity to accommodate additional foul drainage at the local treatment plant.
- 8.27 Surface water will be dealt with at a soakaway within a grazing field to the south of the building and farmhouse. The applicant's agent confirmed the proposed soakaway will be underground and so the site can continue to be used for grazing as existing. The use of a pond

instead of a soakaway was considered but discounted due to the disruption that would be caused to the site.

- 8.28 The proposed drainage area will have a limited impact on the surrounding countryside, prime agricultural land and special landscape area as compared to the existing situation.

Landscaping

- 8.29 There are six trees which will be affected by the car park. This includes a large mature sycamore by the entrance which has significant high amenity value in the surrounding area. The submitted tree survey shows that this has a large wound and is in poor condition with a limited safe life expectancy of 10-20 years. The survey and plans do not state this is to be removed. As stated previously, there were initial concerns over the impact this tree would have on visibility splays exiting the car park, however these can be mitigated.
- 8.30 All six trees are to be retained. The car park construction and materials are such that there will be no damage to the trees. The loss of these trees as a result of development would not be acceptable as they have a significant positive landscape amenity value in this sensitive area, as well as integrating the car park into the surrounding area.
- 8.31 The works required to the hedgerow (reducing its height to 1m) to achieve the required visibility splays are acceptable as this will retain the hedgerow which also has significant landscape and biodiversity value.
- 8.32 Details of additional planting, as well as planting to be retained and means of protection, are required for the car park and external seating area. This is not only necessary to integrate and soften the works into the sensitive surrounding area but also to protect and improve the biodiversity value of the site.

Impact on Protected Species and Biodiversity

- 8.33 The submitted ecology reports consider protected species. While there are moderate levels of activity in the surrounding area none would be affected by the proposed works. The lighting in the car park is at too low a level to affect bats and with less of an impact in this regard than the existing streetlights. Furthermore, the lighting will only be on during the opening hours of the café. No additional surveys are required but recommendations have been made which should be adhered to.
- 8.34 The ecology reports found there was limited ecological interest at the site at present, so a number of biodiversity enhancements are proposed to enhance this. This includes bird and bat boxes installed at the car park; appropriate native planting at the car park and the

external seating area; the use of rain gardens, pergolas and living screens to encourage climbing plants and wildlife.

Other Matters

- 8.35 While it is advisable that applicants discuss proposals with local residents before an application is submitted, there is no requirement for pre-application consultation for an application of this scale.
- 8.36 Neighbour notification was carried out correctly in line with the relevant regulations. Site notices were erected at the site and the applications were also advertised in the local press.
- 8.37 It is not clear how the proposal would adversely affect events taking place at the village hall.
- 8.38 The proposal could create employment opportunities for local people and benefit the local area economically.
- 8.39 The applicant proposes kerbside waste collection and recycling. Litter bins are also proposed within the car park.
- 8.40 The implementation of previous grants of planning permission is at the discretion of the applicant. The planning authority cannot insist on housing, or a shop/retail element being included in the applications. It is not clear if the proposed works relate to a wider scheme for the farm complex.
- 8.41 In relation to the representor who commented about sewage sludge being stored on site, it is not clear what this relates to, but this is likely to be connected to the use of the wider site as a working farm and not material to these applications.

9 RECOMMENDATION

- 9.1 That detailed planning permission (24/00598/DPP) be granted for the following reason:

The proposed development will not have a detrimental impact on the character, appearance or historic fabric of the listed building or surrounding conservation area, special landscape area or designed landscape and so complies with policies DEV2, RD1, VIS1, ENV4, ENV6, ENV7, ENV11, ENV15, ENV19, ENV20 and ENV22 of the adopted Midlothian Local Development Plan 2017 and Policies 4, 6, 7, 9, 14, 29 and 30 of National Planning Framework 4.

Subject to the following conditions:

1. The development to which this permission relates shall commence no later than the expiration of three years beginning with the date of this permission.

Reason: *To accord with the provisions of Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended by the Planning (Scotland) Act 2019).*

2. Development shall not begin until a scheme of investigation and remediation to deal with previous mineral workings has been submitted to and approved in writing by the planning authority. This shall include: a scheme of intrusive site investigations has been carried out to establish the risks posed to the development by past shallow coal mining activity; a report of findings arising from the intrusive site investigations and the results of any gas monitoring; and a scheme of remedial and/ or mitigation works to address land instability arising from coal mining legacy.
3. The investigation schemes and remediation/mitigation works shall be fully implemented as approved by the planning authority and the Coal Authority. Before the application site is brought into use, a verification report shall be submitted to and approved in writing by the Planning Authority and the works hereby approved shall not be operational until this has been approved in writing by the planning authority. This document shall confirm the methods and findings of the intrusive site investigations and the completion of any remedial works and/or mitigation necessary to address the risks posed by past coal mining activity.

Reason for conditions 2 and 3: *To ensure that any risks posed by the coal mining history of the area are identified and addressed prior to development commencing.*

4. Prior to the commencement of development, the following details shall be submitted to and approved in writing by the planning authority:
 - a) Details of the colour of any new doors and screens;
 - b) Details of the materials of any new doors and screens;
 - c) Plans to a scale of 1:20 showing details of the design of the new window units, including dimensions and cross sections of the windows;
 - d) Details of the materials of all areas of hardstanding;
 - e) Details of the proposed decking;
 - f) Details of the proposed rooflights;
 - g) Details of the proposed extractor flue and any ventilation;
 - h) Details of all proposed external lighting;
 - i) Details of all proposed solar panels;
 - j) Details of the electric vehicle charging equipment;
 - k) Details of the proposed CCTV pole;

- l) Details of the proposed litter bin in the car park;
- m) Details of the means of securing and locking the car park;
- n) Details of the proposed cycle parking;
- o) Details of the provision of superfast broadband connections for the cafe;
- p) Details of all proposed drainage;
- q) Details of the position, design, materials, dimensions and finish of all walls, fences, gates or other means of enclosure;
- r) Details of a scheme of landscaping for the site. Details shall include hard and soft landscape layouts, planting plans, planting schedules, landscape specification and landscape management plans and programmes and relevant construction details and details of tree protection; and
- s) Details of a sustainability/biodiversity scheme for the site, including the provision of house bricks and boxes for bats and swifts and small mammal passage points in any fencing.

Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be agreed in writing with the planning authority.

Reason: *These details were not submitted as part of the application: to ensure the development is finished in high quality materials; to protect the listed building and visual amenity of the surrounding area; to ensure the development is provided with adequate amenity; to help integrate the proposal into the surrounding area; to address policies DEV2, DEV6, TRAN5, IT1, RD1, VIS1, ENV4, ENV6, ENV7, ENV11, ENV15, ENV19, ENV20 and ENV22 of the adopted Midlothian Local Development Plan 2017 and Policies 6, 7, 14, 22 and 24 of National Planning Framework 4.*

- 5. The areas of hardstanding agreed in terms of condition 4d) shall be surfaced in a porous material.

Reason: *To ensure that the site is adequately drained; in the interests of the amenity of the area; to address Policy 22 of National Planning Framework 4.*

- 6. Any stone to be used in the repairs and rebuilding of the external walls shall match the colour, type, size, coursing and tooling of the stone on the existing building.

Reason: *To ensure the materials and finish are of high quality to reflect and respect the existing listed building and surrounding conservation area; to address policies DEV2, DEV6, ENV19 and ENV22 of the adopted Midlothian Local Development Plan 2017 and Policies 7 and 14 of National Planning Framework 4.*

7. The details of the window required by condition 4c) shall include genuine timber astragals, which are not to be inserted between or planted on the panes of glass unless otherwise agreed in writing by the planning authority.
8. The rooflights hereby approved shall be conservation style rooflights, installed in a manner which ensures that their upper surface is as near flush as possible with the upper surface of the roof into which they are to be installed and with minimal flashing. A detailed section drawing or manufacturer brochure showing this shall be submitted for the prior written approval of the planning authority.
9. The three solar panels to the righthand side of the south elevation, serving the hall and store, as shown on approved drawings 2110-9_PR_001 and 2110-9_PL_101 A are not approved.

Reason for conditions 7 to 9: To protect the character and appearance of the listed building and surrounding area; to address policies DEV2, DEV6, ENV19 and ENV22 of the adopted Midlothian Local Development Plan 2017 and Policies 7 and 14 of National Planning Framework 4.

10. Before the café is occupied or completed, whichever is first, the drainage system agreed in condition 4p) shall be completed to the satisfaction of the planning authority.

Reason: To ensure that the development is provided with adequate drainage facilities prior to occupation; to address Policy 22 of National Planning Framework 4.

11. The café use hereby approved shall not commence until the approved car park is complete and operational.

Reason: To ensure that adequate parking is in place before the café comes into use; in the interests of road safety.

12. The car park hereby approved shall not come into use until the vegetation around the tree to the north of the car park entrance has been cut back and the hedgerow to the south of the entrance has been cut down to a height not exceeding 1 metre for a distance of 50 metres. This clearing and hedgerow height shall be maintained while the car park is in use.

Reason: In the interests of road safety; to provide adequate visibility for vehicles exiting the car park.

13. The car park hereby approved shall not be used or illuminated outwith the operating hours of the café hereby approved and shall be secured through the measures approved in condition 4m).

14. The hedgerow along the boundary of the car park and 1 Carrington Mains Cottages and 31 Main Street approved in condition 4r) shall be in place before the car park comes into use.

Reason for conditions 13 and 14: To control the use of the car park hereby approved to ensure there is no adverse impact on the amenity of nearby residents; to address policy DEV2 of the adopted Midlothian Local Development Plan 2017 and Policy 14 of National Planning Framework 4.

15. The scheme of landscaping approved in accordance with condition 4r) shall include the following details:
- a) climbing plants, native shrubs, small trees and mixed native hedgerow with a minimum of four native species, bulbs, wildflowers and herbaceous perennials;
 - b) the use of a rain garden within the external seating area, and if this is not possible details of why shall be submitted;
 - c) an Arboricultural Method Statement that details the means of tree protection for all trees within and adjacent to the site boundary as well as specific working methods, materials, and construction details where work is required within root protection areas of these trees;
 - d) details of management recommendations for the mature sycamore tree by the entrance to the car park, including safety surveys to assess whether this tree can be retained safely, and whether any pruning work, reduction, or felling is required at some stage in the future to ensure its safe retention. Should this tree require felling or reduction in future, the timber shall be retained on site for habitat value; and
 - e) areas of future replacement hedgerow planting to the north of the car park entrance, outwith the visibility splays.

Reason: To protect the rural character of the area and integrate the development into the surrounding rural area; to increase canopy cover at the site; to promote biodiversity; to address policies ENV6, ENV7 and ENV11 of the adopted Midlothian Local Development Plan 2017 and Policies 6 and 14 of National Planning Framework 4.

16. The plant protection measures required in terms of condition 4r) shall be put in place before any works begin on site and shall be retained as approved until development on site is completed. The protective fencing shall be in accordance with BS5837 and include signage indicating prohibited activities within this Construction Exclusion Zone. Evidence of the signage shall also be supplied to the planning authority. Proof of these protection measures and signage being in place shall be submitted to the planning authority before works begin.

Reason: *To ensure that any landscaping affected by the proposal are protected during development; to protect the trees and canopy cover in the site and wider area; to address policy ENV11 of the adopted Midlothian Local Development Plan 2017 and Policy 6 of National Planning Framework 4.*

17. The scheme of landscaping approved in accordance with condition 4r) shall be carried out and completed within six months of the car park either being completed or brought into use, whichever is the earlier date. Any trees or hedgerow removed, dying, severely damaged or becoming seriously diseased within five years of planting shall be replaced in the following planting season by trees or hedge planting of a size and species similar to those originally required.

Reason: *To ensure the landscaping is carried out and becomes successfully established; to address policy ENV11 of the adopted Midlothian Local Development Plan 2017 and Policy 6 of National Planning Framework 4.*

18. The works hereby approved, including vegetation and site clearance works shall not be carried out during the months of March to August inclusive, unless approved in writing by the planning authority after a check for nesting birds is completed by a suitably competent person within 48 hours of works commencing and, in the event an active nest is found, an appropriate protection zone to the satisfaction of the planning authority is in place within which there can be no works until the related chicks have fledged.

19. The works hereby approved shall comply with the recommendations in the approved Ecology Surveys dated 5 November 2024 and 6 March 2025

Reason for conditions 18 and 19: *To protect and enhance the local biodiversity of the site; there is potential for the disturbance of breeding birds at the site during bird breeding season; in order to ensure protected species are considered and not adversely affected; to comply with policy ENV15 of the adopted Midlothian Local Development Plan 2017 and Policy 4 of National Planning Framework 4.*

20. The café hereby approved shall only open between the hours of 8am to 6pm Thursdays to Sundays and no other time. There shall be no deliveries to the café outwith these approved hours.

Reason: *In the interests of clarity; the application has only been assessed on these hours and any longer opening hours would require further assessment; to address policy DEV2 of the adopted*

Midlothian Local Development Plan 2017 and Policy 14 of National Planning Framework 4.

21. No development shall take place on site until the applicants or their successors have undertaken and reported upon a programme of archaeological (historic building recording, monitored soil strip and watching brief) work in accordance with a written scheme of investigation to be submitted to and approved in writing by the planning authority.

Reason: *To ensure a proper archaeological evaluation of the site, which is within an area of potential archaeological interest, and that adequate measures are in place to record any archaeological finds; to comply with policy ENV25 of the adopted Midlothian Local Development Plan 2017 and Policy 7 of National Planning Framework 4.*

- 9.2 That listed building application (24/00599/LBC) be granted for the following reason:

The development will not have an adverse impact on the special characteristics of the listed building and therefore complies with section 14(2) of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 (as amended) and the Historic Environment Scotland policy and guidance.

Subject to the following conditions:

1. Prior to the commencement of development, the following details shall be submitted to and approved in writing by the planning authority:
 - a) Details of the colour of any new doors and screens;
 - b) Details of the materials of any new doors and screens;
 - c) Plans to a scale of 1:20 showing details of the design of the new window units, including dimensions and cross sections of the windows;
 - d) Details of the materials of all areas of hardstanding;
 - e) Details of the proposed decking;
 - f) Details of the proposed rooflights;
 - g) Details of the proposed extractor flue and any ventilation;
 - h) Details of all proposed external lighting;
 - i) Details of all proposed solar panels;
 - j) Details of all proposed drainage; and
 - k) Details of the position, design, materials, dimensions and finish of all walls, fences, gates or other means of enclosure.

Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be agreed in writing with the planning authority.

Reason: *These details were not submitted as part of the application: to ensure the development is finished in high quality materials; to protect the listed building; to comply with policy ENV22 of the adopted Midlothian Local Development Plan and Policy 7 of the National Planning Framework and Historic Environment Scotland policy and guidance.*

2. Any stone to be used in the repairs and rebuilding of the external walls shall match the colour, type, size, coursing and tooling of the stone on the existing building.

Reason: *To ensure the materials and finish are of high quality to reflect and respect the existing listed building; to comply with policy ENV22 of the adopted Midlothian Local Development Plan and Policy 7 of the National Planning Framework and Historic Environment Scotland policy and guidance.*

3. The details of the window required by condition 1c) shall include genuine timber astragals, which are not to be inserted between or planted on the panes of glass unless otherwise agreed in writing by the planning authority.
4. The rooflights hereby approved shall be conservation style rooflights, installed in a manner which ensures that their upper surface is as near flush as possible with the upper surface of the roof into which they are to be installed and with minimal flashing. A detailed section drawing or manufacturer brochure showing this shall be submitted for the prior written approval of the planning authority.
5. The three solar panels to the righthand side of the south elevation, serving the hall and store, as shown on approved drawings 2110-9_PR_001 and 2110-9_PL_101 A are not approved.

Reason for conditions 3 to 5: *To protect the character and appearance of the listed building; to comply with policy ENV22 of the adopted Midlothian Local Development Plan and Policy 7 of the National Planning Framework and Historic Environment Scotland policy and guidance.*

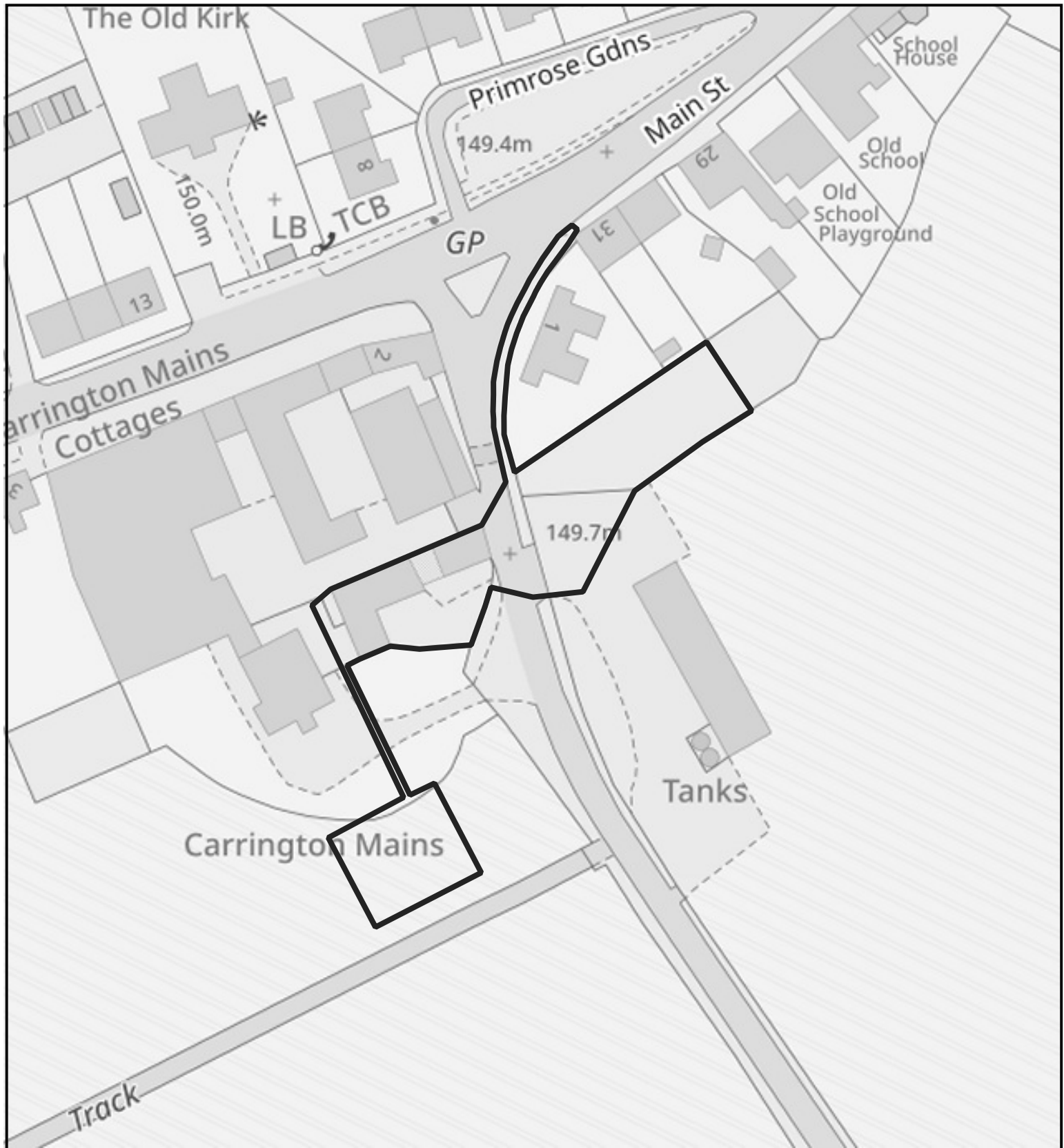
6. No development shall take place on site until the applicants or their successors have undertaken and reported upon a programme of archaeological (historic building recording, monitored soil strip and watching brief) work in accordance with a written scheme of investigation to be submitted to and approved in writing by the planning authority.

Reason: *To ensure a proper archaeological evaluation of the site, which is within an area of potential archaeological interest, and that*

*adequate measures are in place to record any archaeological finds;
to comply with policy ENV25 of the adopted Midlothian Local
Development Plan 2017 and Policy 7 of National Planning
Framework 4.*

Peter Arnsdorf
Planning, Sustainable Growth and Investment Manager

Date:	18 April 2025
Application No:	24/00598/DPP and 24/00599/LBC
Applicant:	Rosebery Estates
Agent:	Steve Rahr, Galbraith
Validation Date:	30 and 24 September 2024 respectively
Contact Person:	Mhairi-Anne Cowie, Planning Officer
Email:	mhairi-anne.cowie@midlothian.gov.uk
Attached Plans:	Site plans, floor plans and elevations



**Planning Service
Place Directorate**

Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith, EH22 3AA

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24/00598/DPP - Change of use from dilapidated farm store to café (Class 3), associated car parking, footpath and drainage.

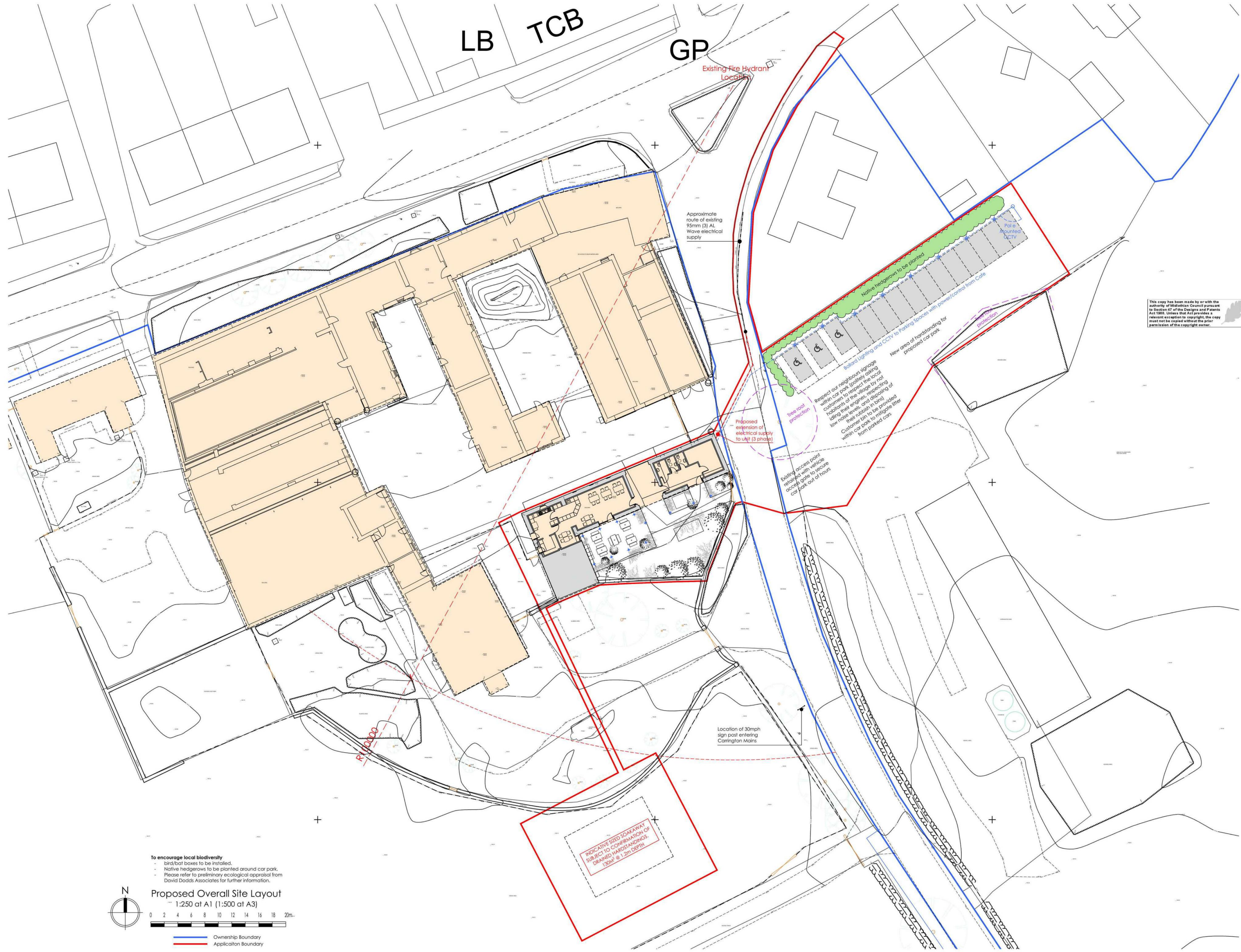
24/00599/LBC - Internal and external alterations associated with the change of use from dilapidated farm store to café (Class 3).

Carrington Mains, Gorebridge, EH23 4LU.

File Nos. 24/00598/DPP and 24/00599/LBC

Scale 1:1000





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 - All works to comply with The Building (Scotland) Regulations 2004, including all current amendments.
 - All parties to this contract must comply with the CDM Regulations 2015, including all current amendments.
 - All works to be in strict accordance with the Design Certificate and any appendix notes and drawings produced by the Consultant Structural Engineer.
 - All dimensions to be checked on site.
- DO NOT SCALE FOR CONSTRUCTION

Galbraith

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Morpeh • Perth • Perth • Stirling

Rev	Date	Details

Project
Carrington Mains Steading Workshop A

Client
Rosebery Estates Partnership

Drawing Name
Proposed Overall Site Layout

Project Number 2110-9	Status PLANNING
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Drawing Number 2110-9_PL_000	Revision F
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Scale As Noted	Drawn by SR	Date July 2024
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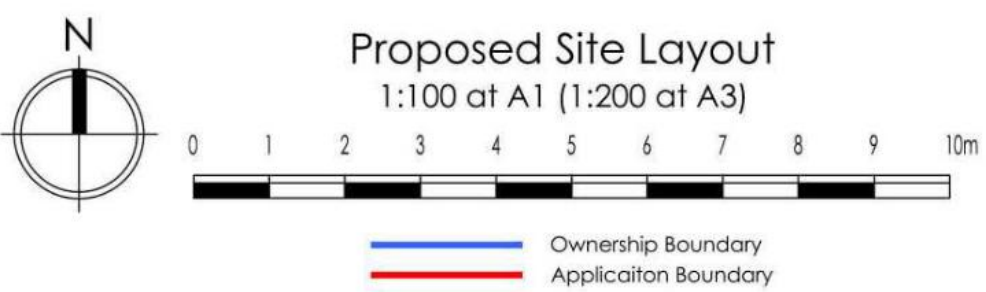
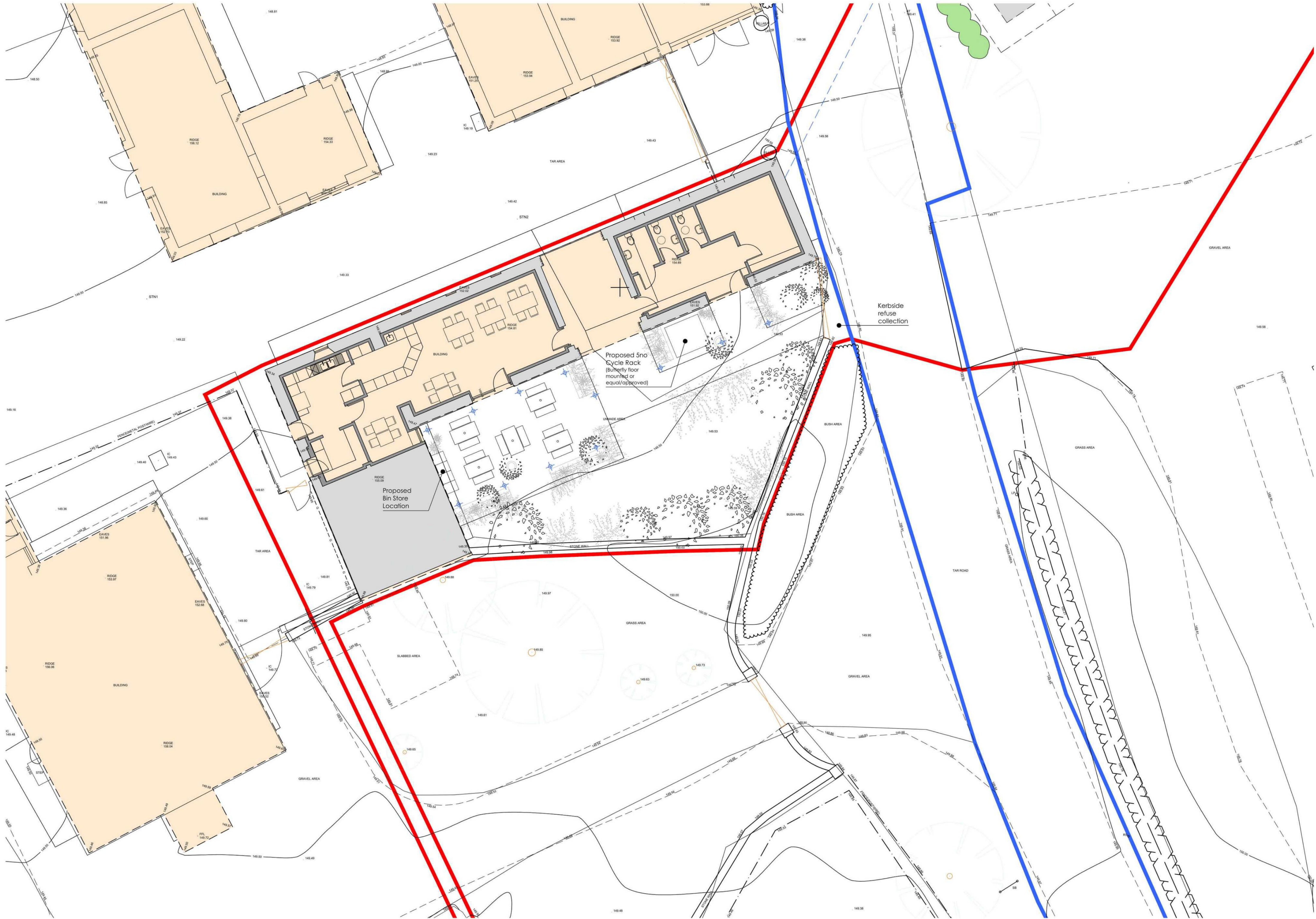
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- To encourage local biodiversity
- bird/bat boxes to be installed.
 - Native hedgerows to be planted around car park.
 - Please refer to preliminary ecological appraisal from David Dodds Associates for further information.

Proposed Overall Site Layout
1:250 at A1 (1:500 at A3)



Ownership Boundary
Application Boundary



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Rev	Date	Details

Project
Carrington Mains Steading Workshop A

Client
Rosebery Estates Partnership

Drawing Name
Proposed Site Layout

Project Number
2110-9

Status
PLANNING

Drawing Number
2110-9_PL_001

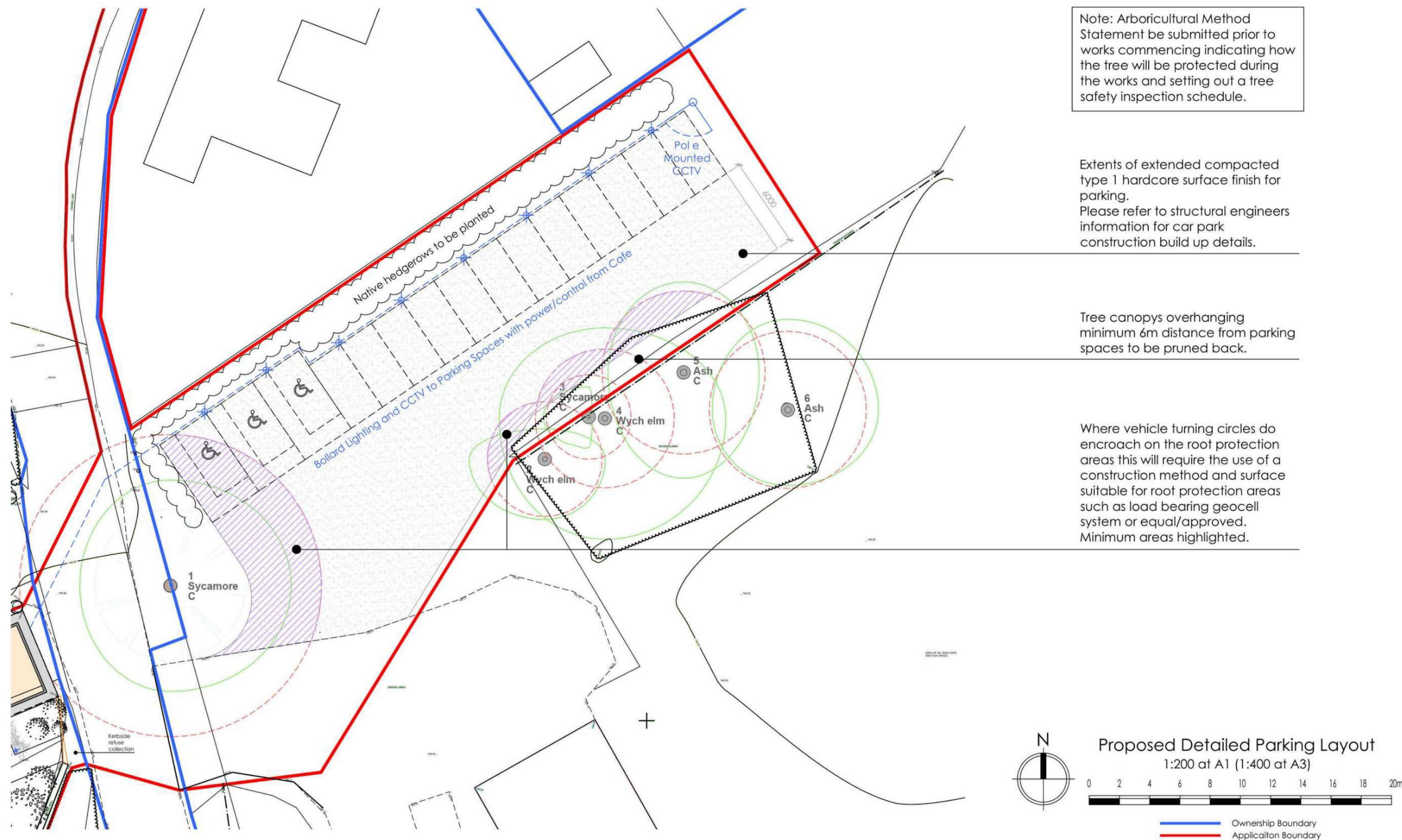
Revision
B

Scale
As Noted

Drawn by
SR

Date
July 2024

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Existing View to Proposed Parking Area

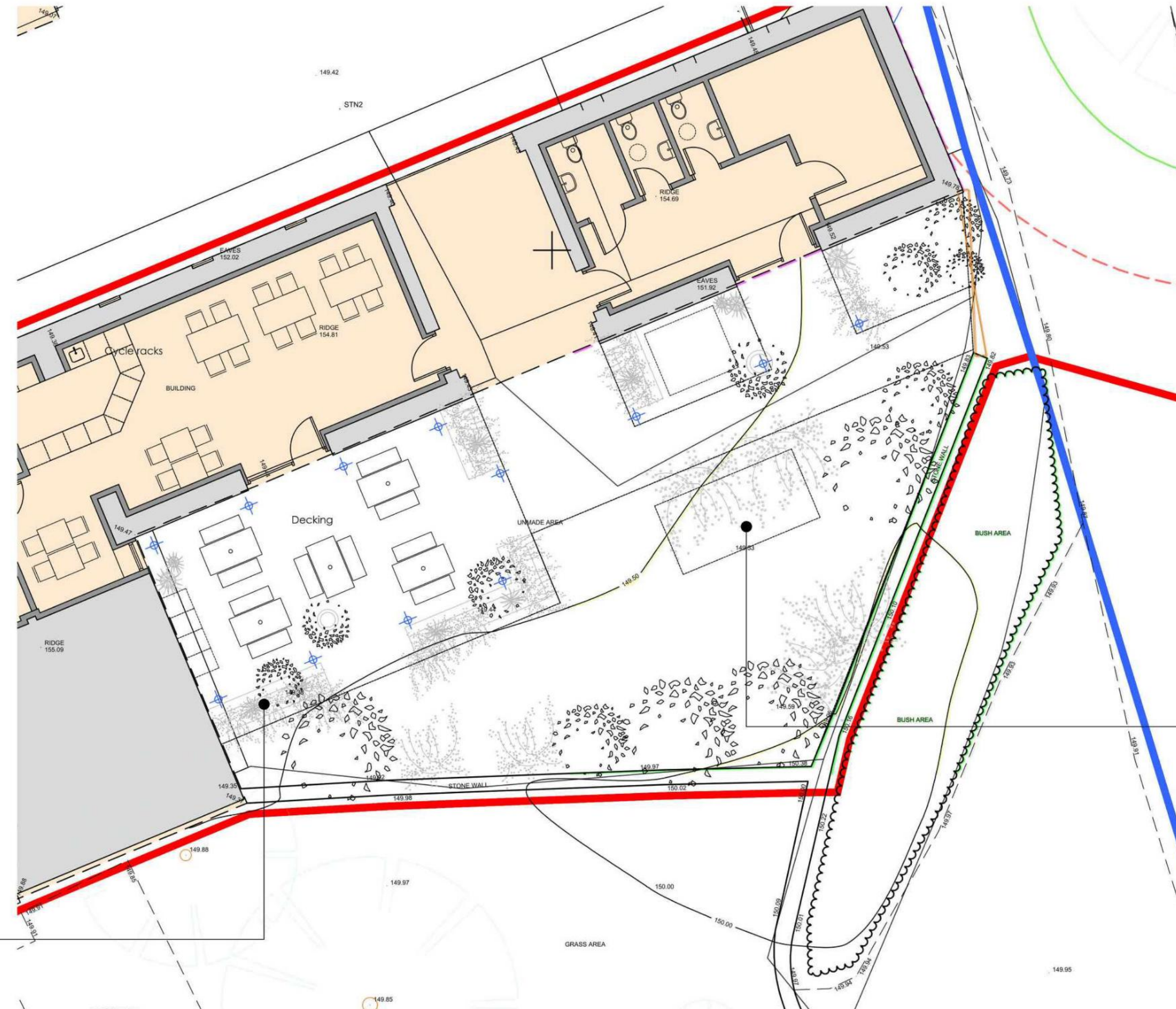


Example of living screen



Example of Arch Pergola for climbing plants.
Note: climbing plant on wall and building to be avoided to avoid damage to listed buildings

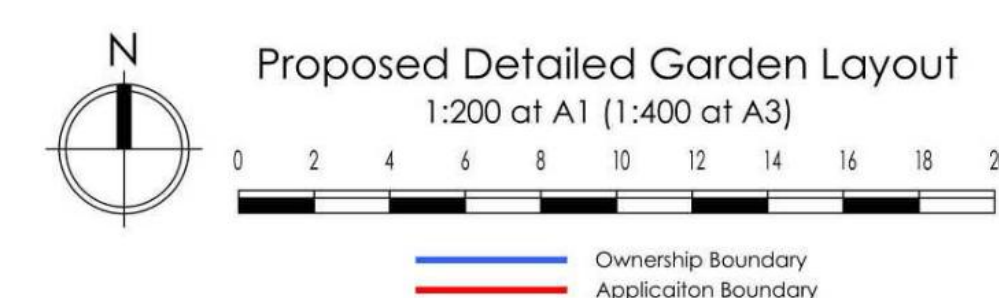
Elements of 'Living Screen' and 'Arched Pergola' with climbing plants around external seating area



A selection of bird and bat boxes to be installed in suitable locations (to be advised by ecological consultant at time of installation)



Potential 'Rain Garden' location



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Rev	Date	Details

Project
Carrington Mains Steading Workshop A

Client
Rosebery Estates Partnership

Drawing Name
Parking and Garden Layout

Project Number
2110-9

Status
PLANNING

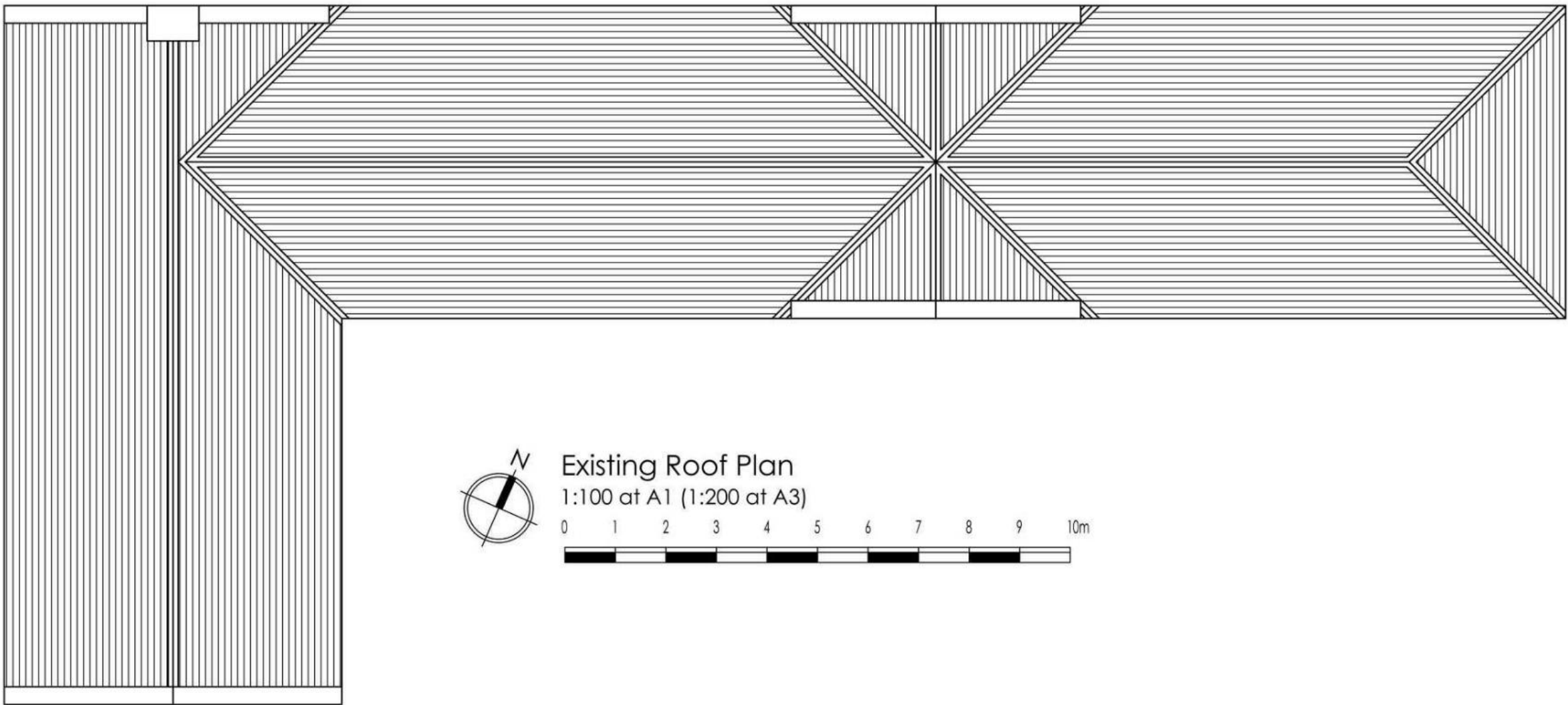
Drawing Number
2110-9_PL_100

Scale
As Noted

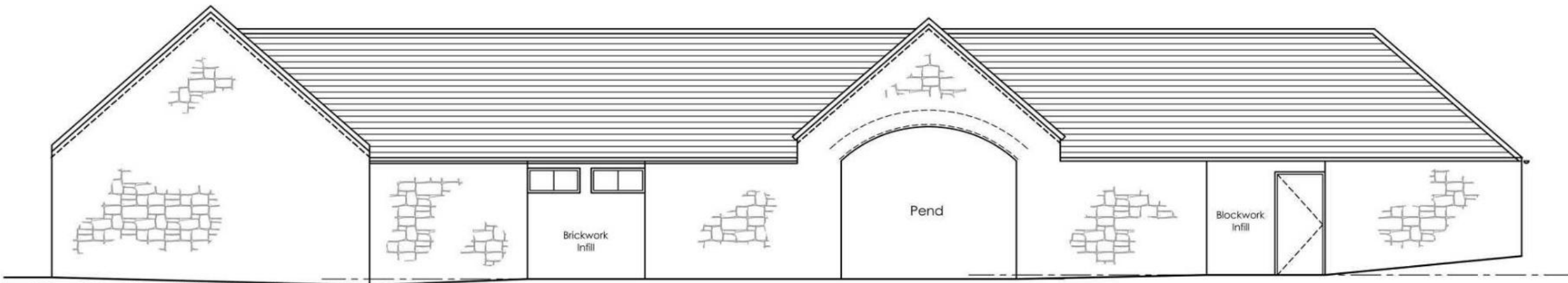
Drawn by
SR

Date
Feb 2025

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Existing Roof Plan
1:100 at A1 (1:200 at A3)

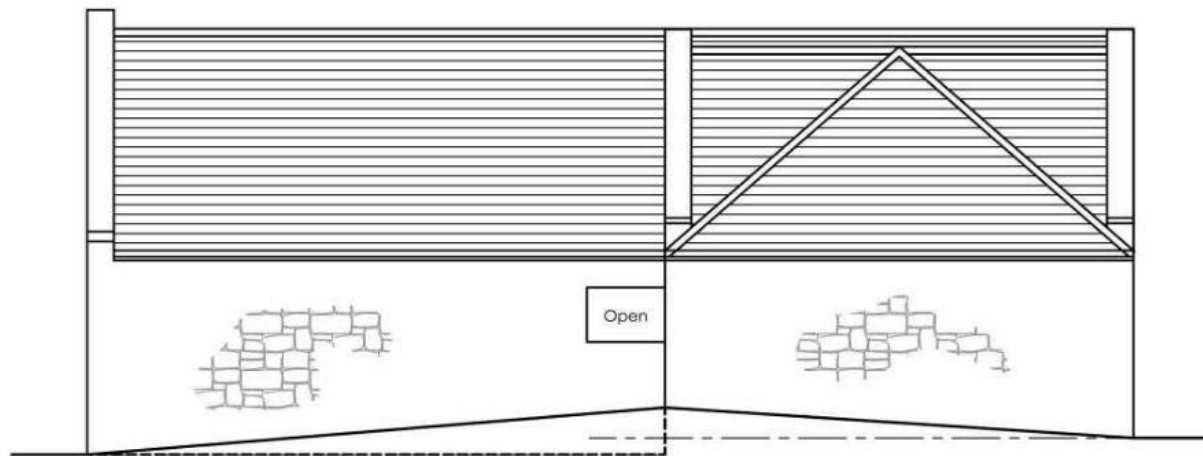


Existing South Elevation
1:100 at A1 (1:200 at A3)

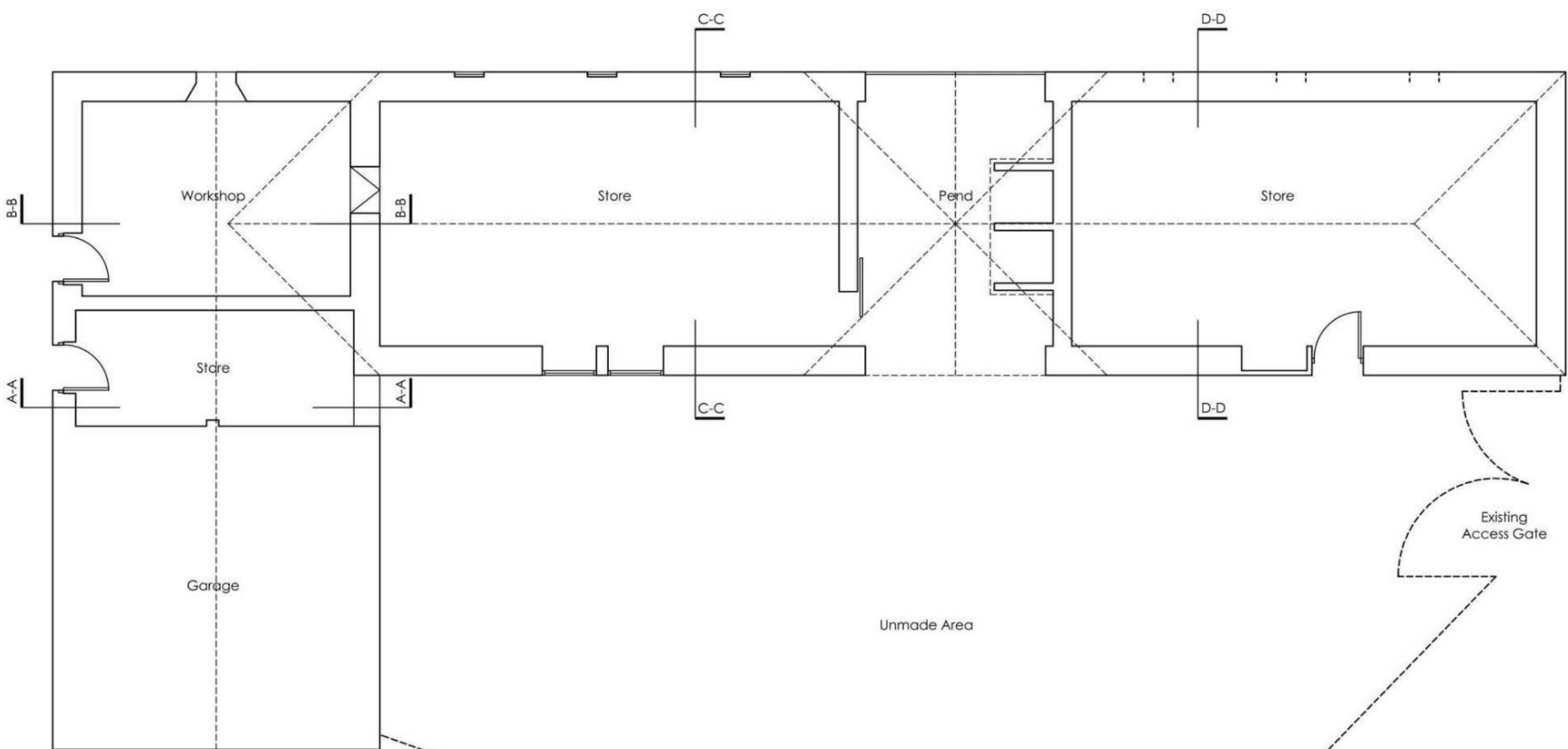
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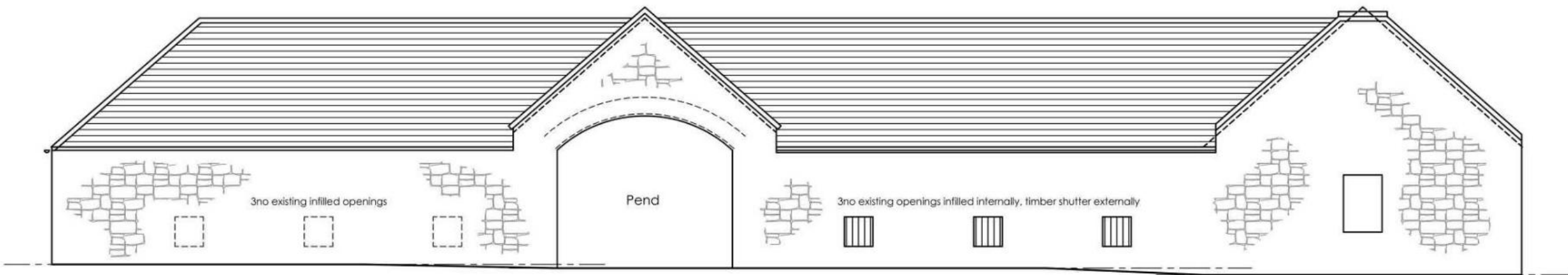
Existing West Elevation
1:100 at A1 (1:200 at A3)



Existing East Elevation
1:100 at A1 (1:200 at A3)



Existing Ground Floor Plan
1:100 at A1 (1:200 at A3)



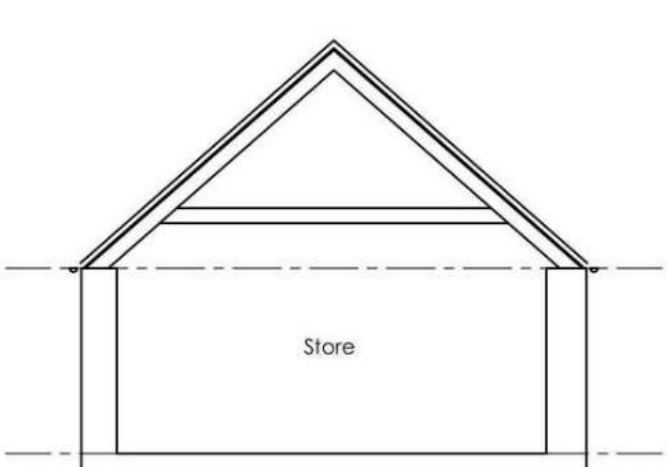
Existing North Elevation
1:100 at A1 (1:200 at A3)

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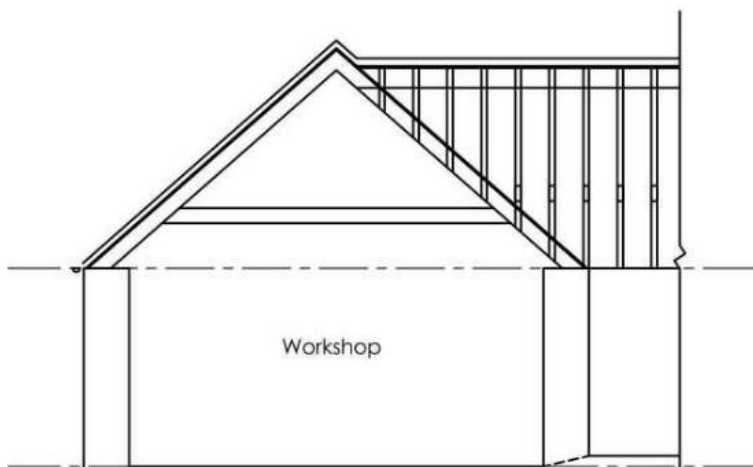
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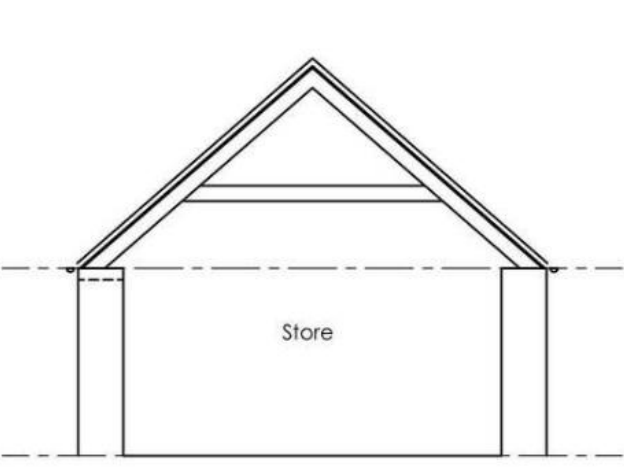
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Existing Section A-A
1:100 at A1 (1:200 at A3)



Existing Section B-B
1:100 at A1 (1:200 at A3)



Existing Section C-C
1:100 at A1 (1:200 at A3)



Existing Section D-D
1:100 at A1 (1:200 at A3)



Existing Aerial Photograph Looking North West

Rev	Date	Details

Project
Carrington Mains Steading Workshop A

Client
Rosebery Estates Partnership

Drawing Name
Existing Plans, Elevations and Sections

Project Number
2110-9

Series
EXISTING

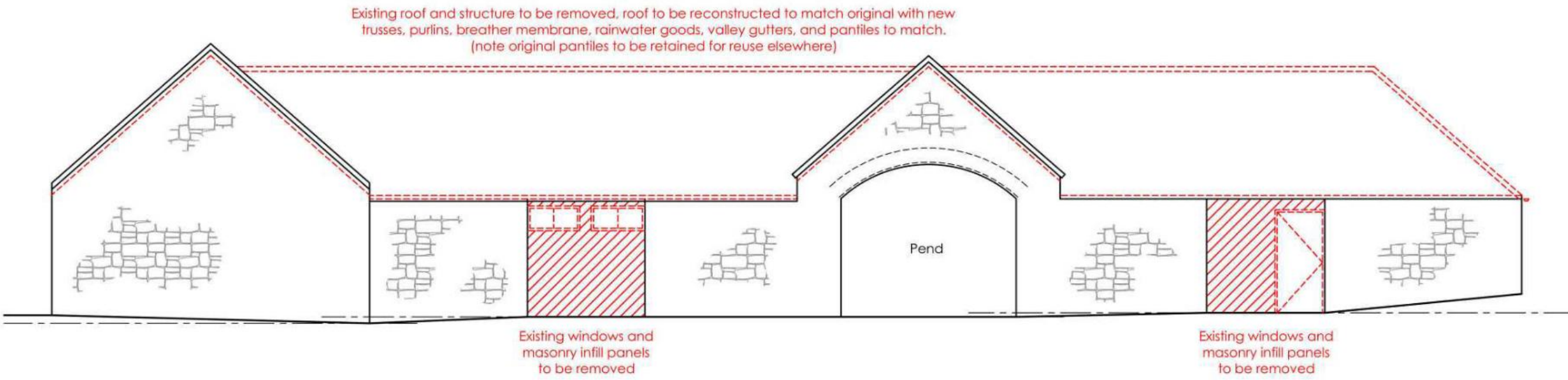
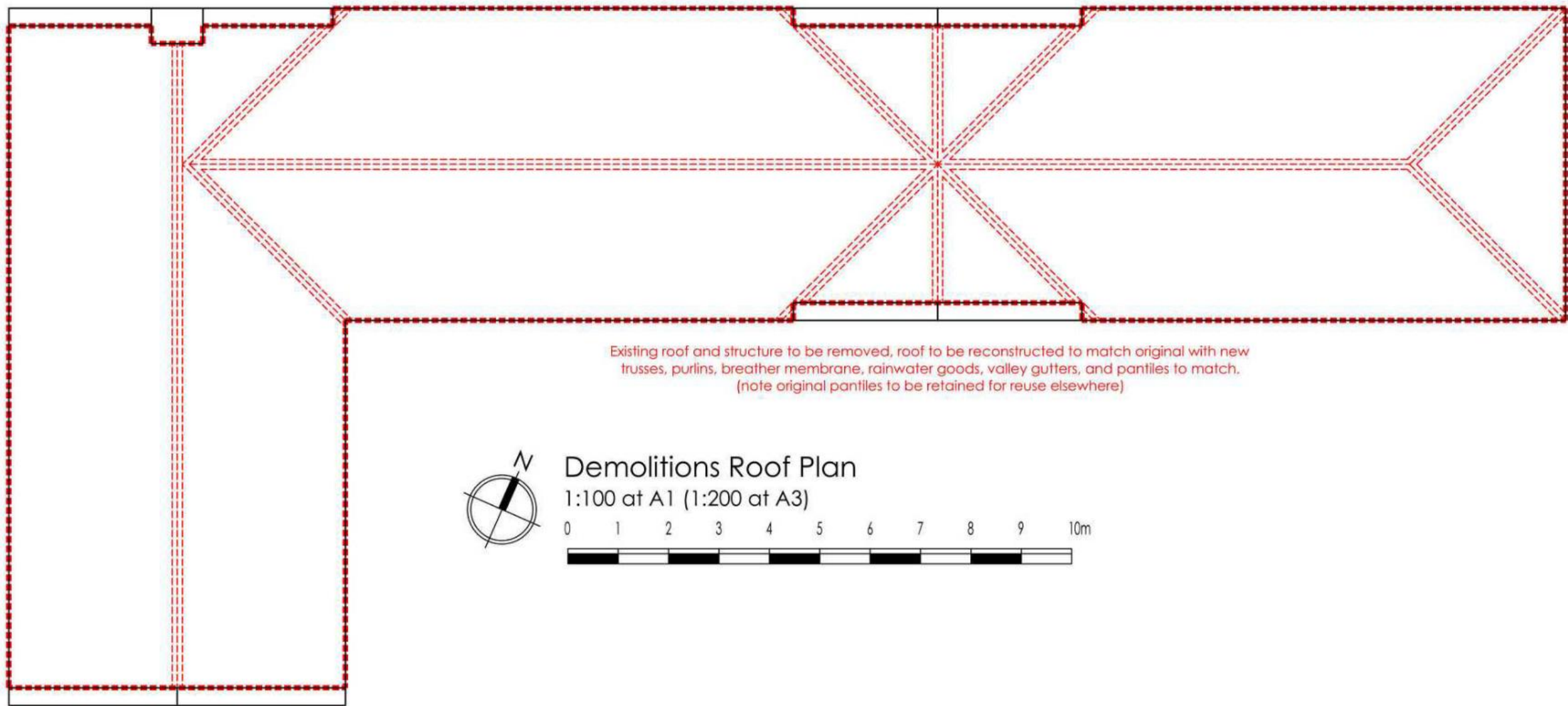
Drawing Number
2110-9_EX_101

Scale
As Noted

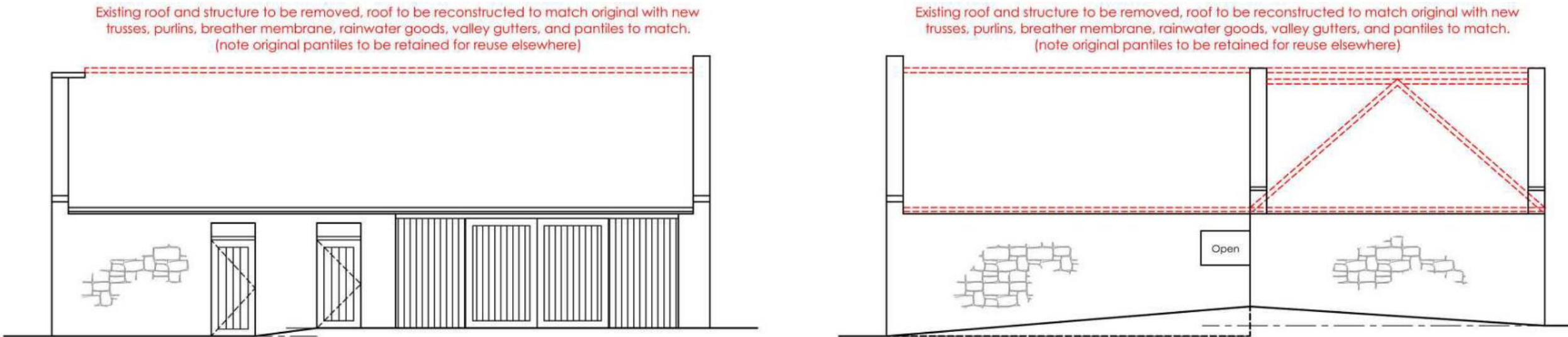
Drawn by
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Date
July 2024

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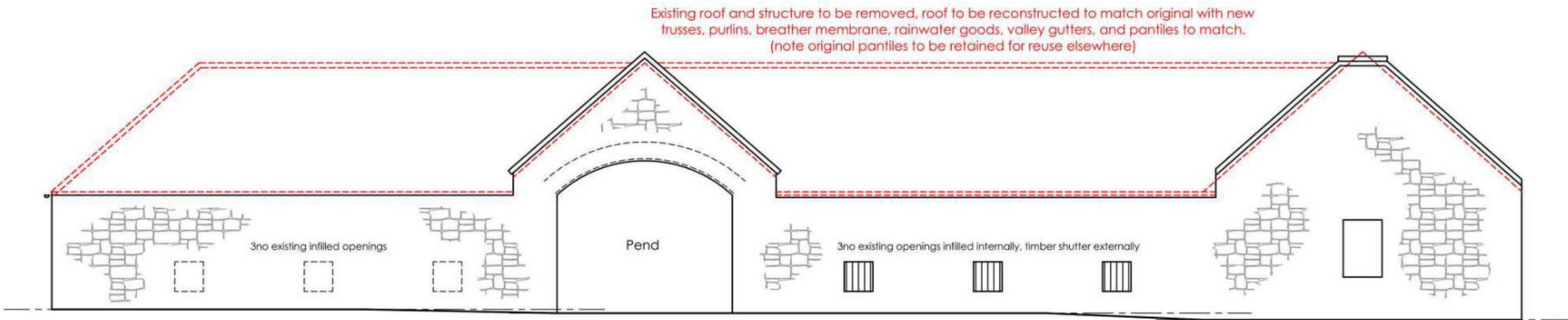


Demolitions South Elevation
1:100 at A1 (1:200 at A3)

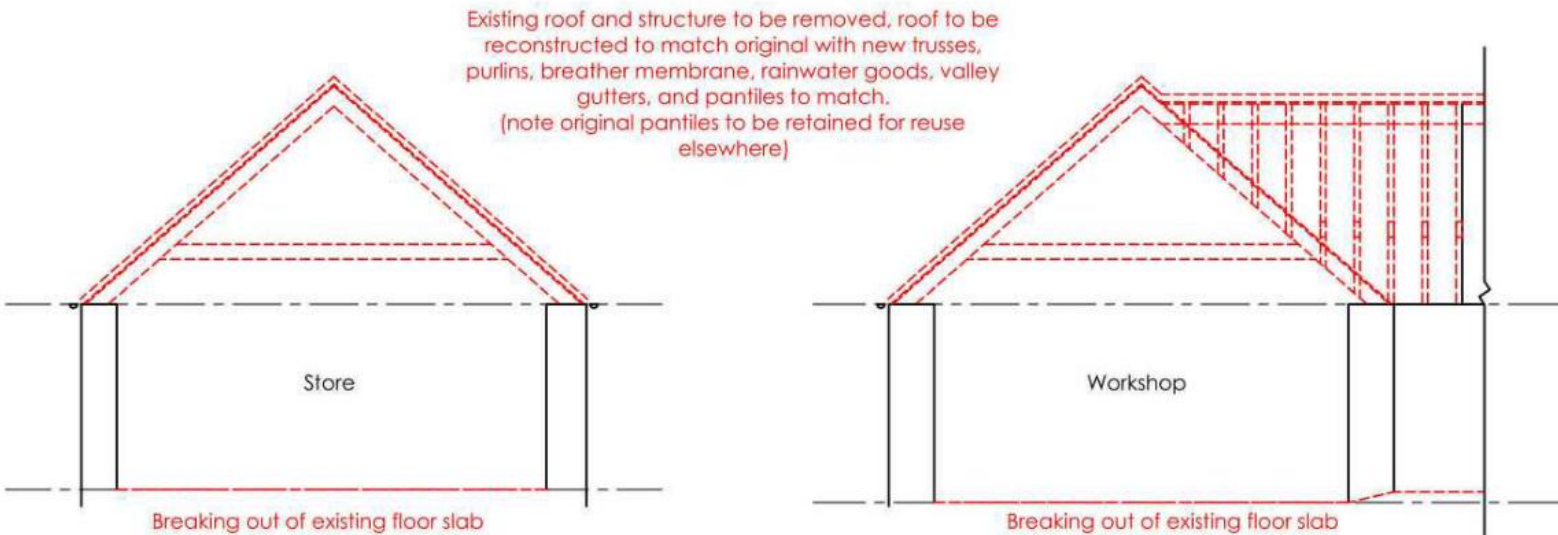
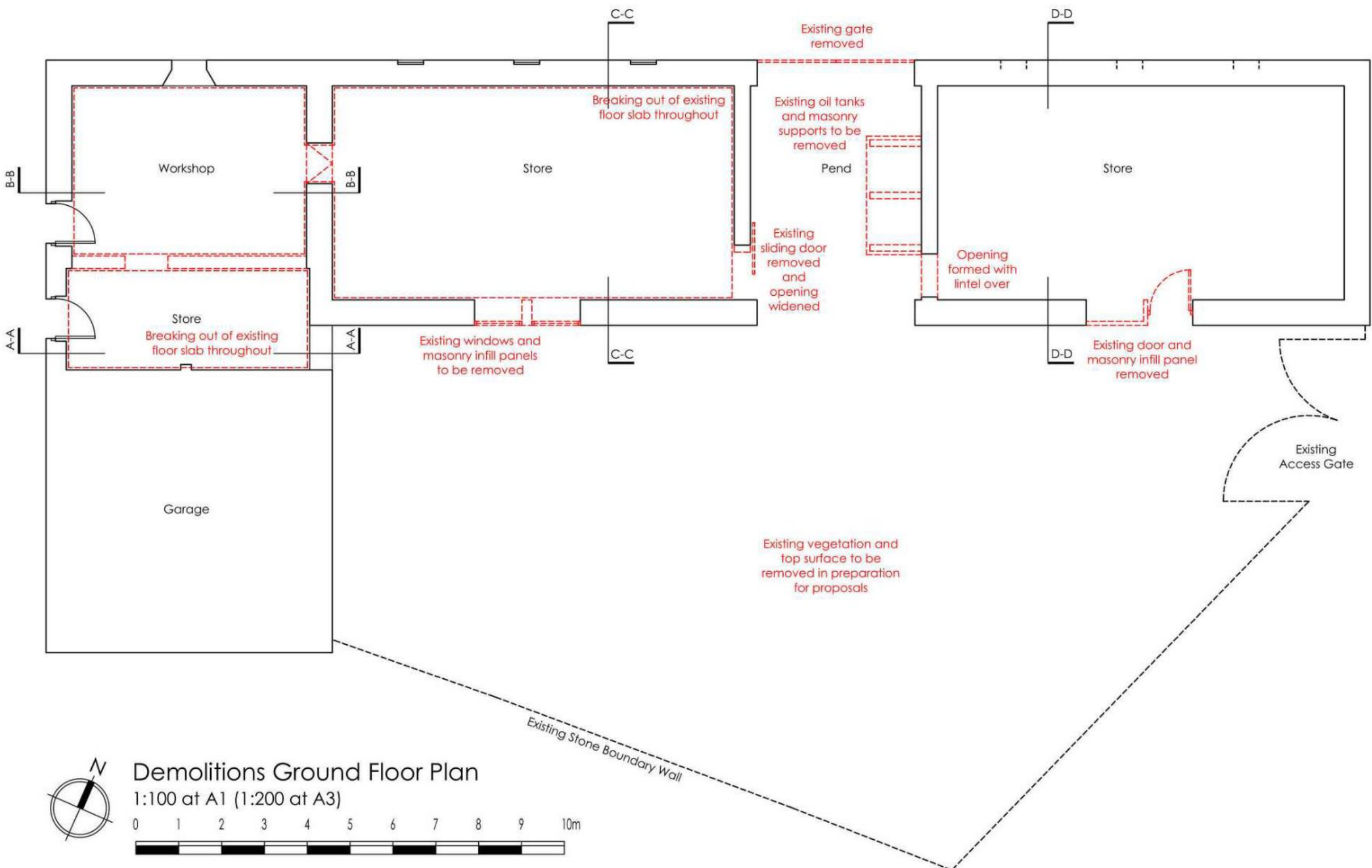


Demolitions West Elevation
1:100 at A1 (1:200 at A3)

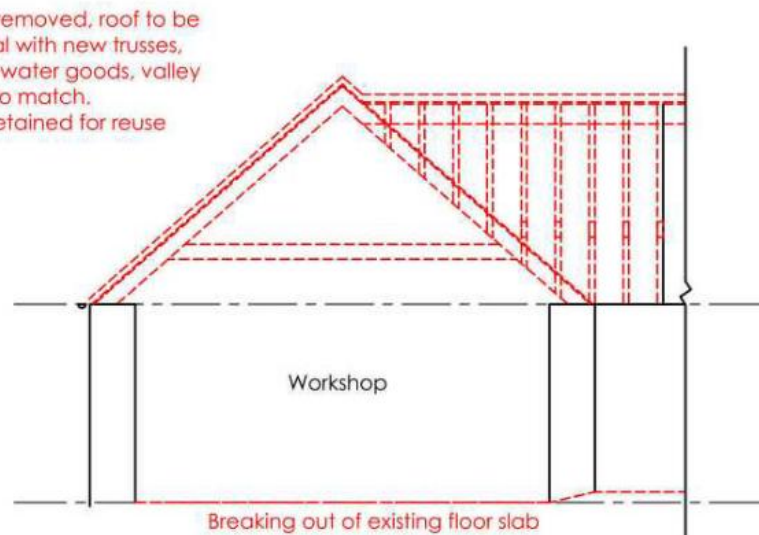
Demolitions East Elevation
1:100 at A1 (1:200 at A3)



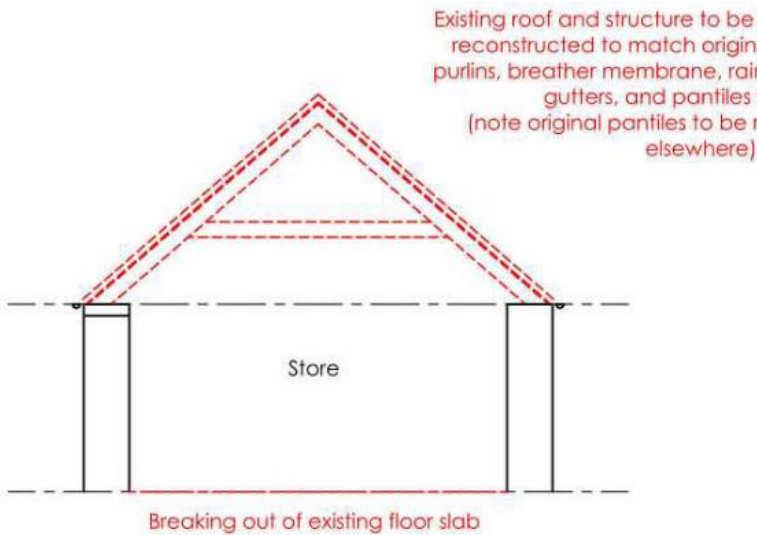
Demolitions North Elevation
1:100 at A1 (1:200 at A3)



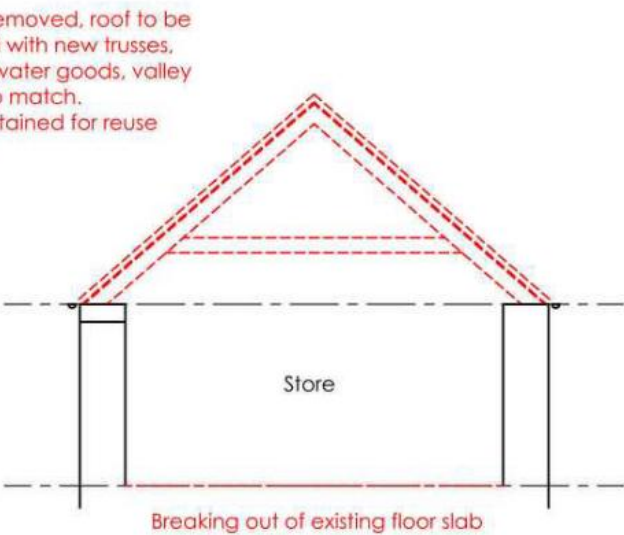
Demolitions Section A-A
1:100 at A1 (1:200 at A3)



Demolitions Section B-B
1:100 at A1 (1:200 at A3)



Demolitions Section C-C
1:100 at A1 (1:200 at A3)



Demolitions Section D-D
1:100 at A1 (1:200 at A3)

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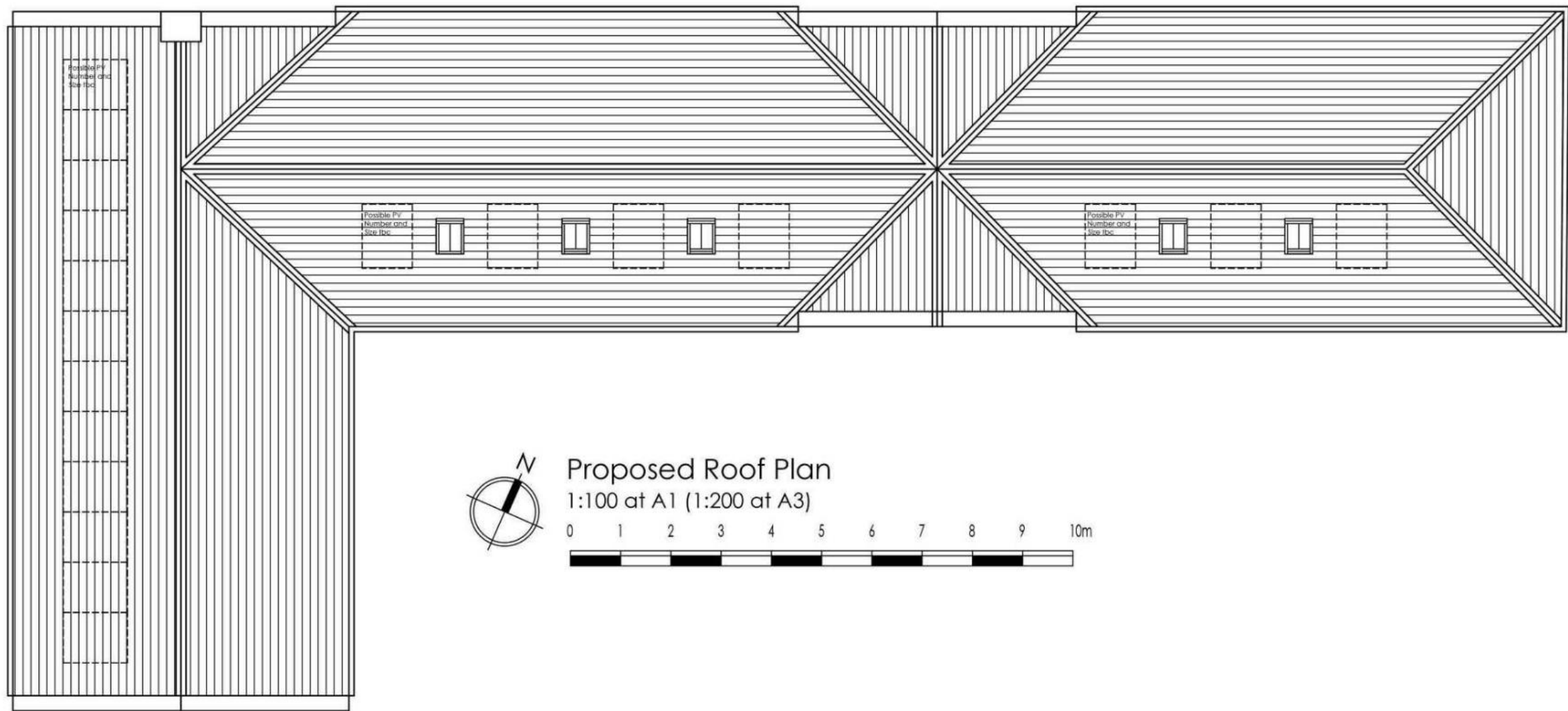
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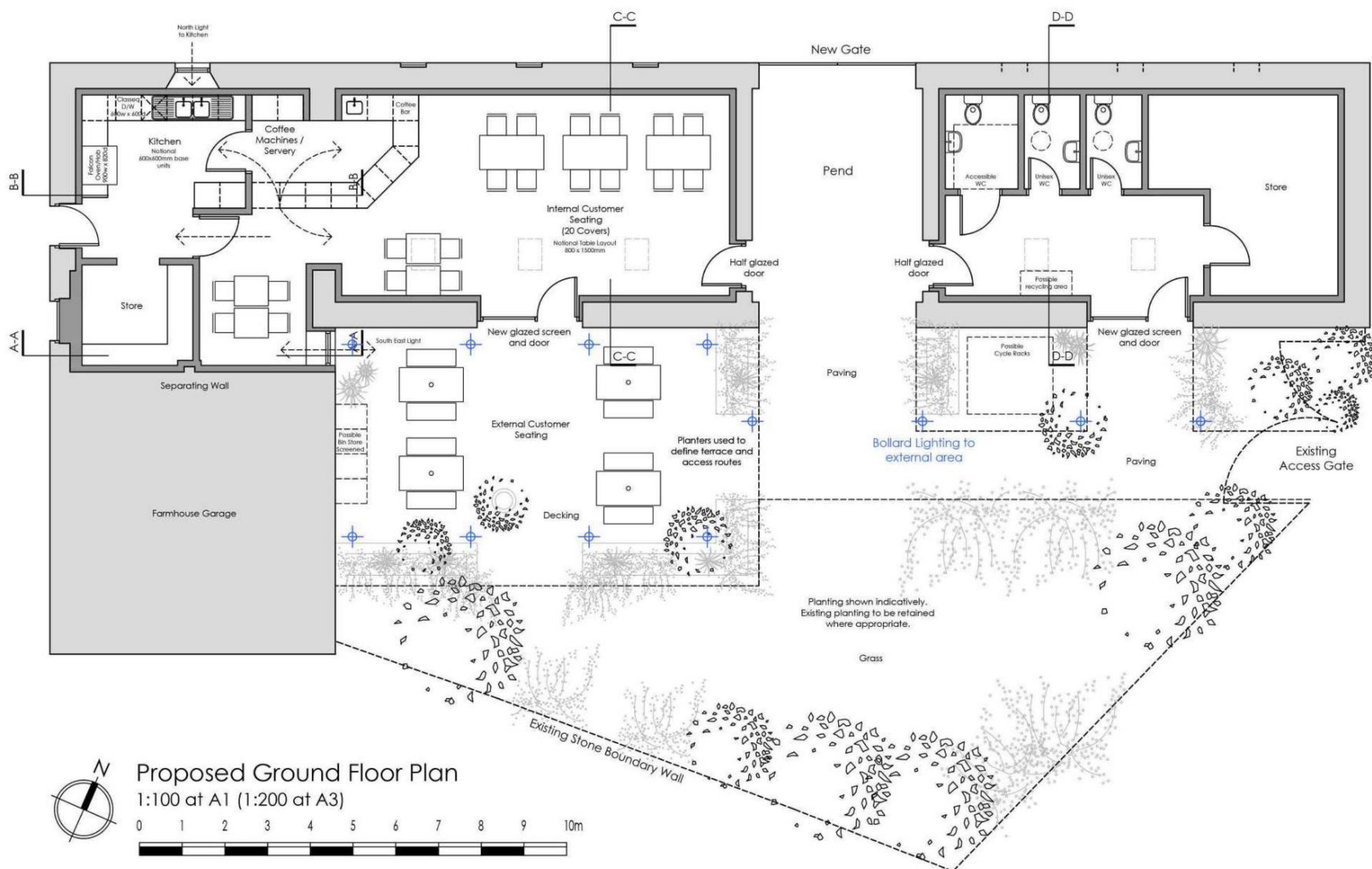
Rev	Date	Details

Project Carrington Mains Steading Workshop A	
Client Rosebery Estates Partnership	
Drawing Name Demolitions Plans, Elevations and Sections	
Project Number 2110-9	Series REMOVALS
Drawing Number 2110-9_DM_101	Revision
Scale As Noted	Drawn by SR
Date July 2024	

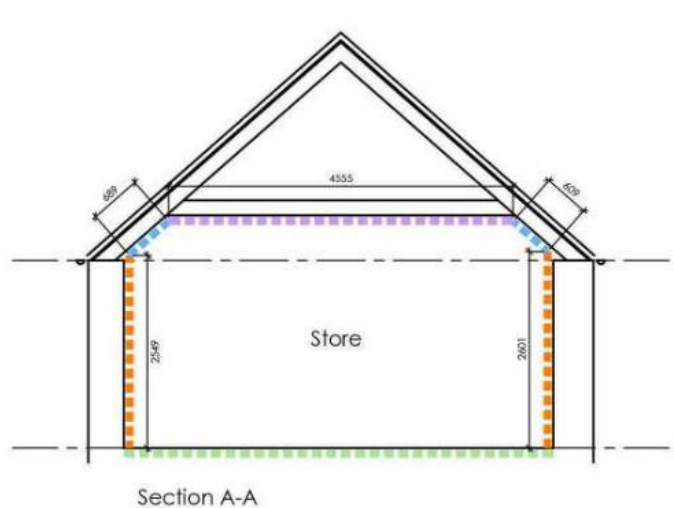
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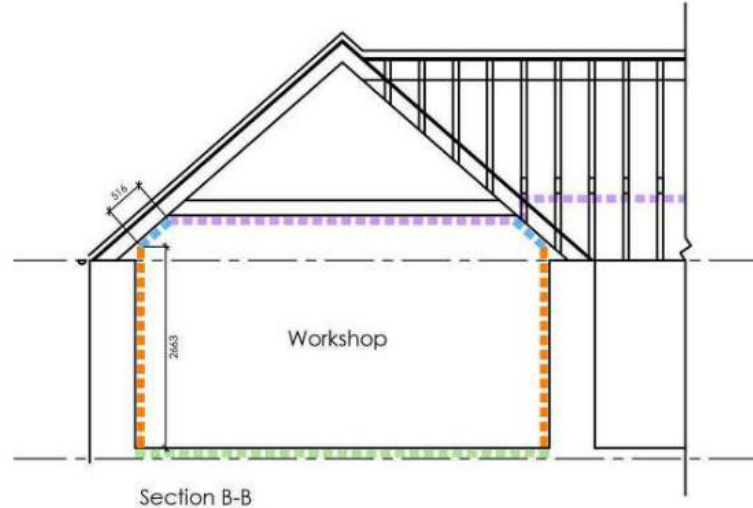
Proposed Roof Plan
1:100 at A1 (1:200 at A3)



Proposed Ground Floor Plan
1:100 at A1 (1:200 at A3)



Section A-A
1:100 at A1 (1:200 at A3)



Section B-B
1:100 at A1 (1:200 at A3)

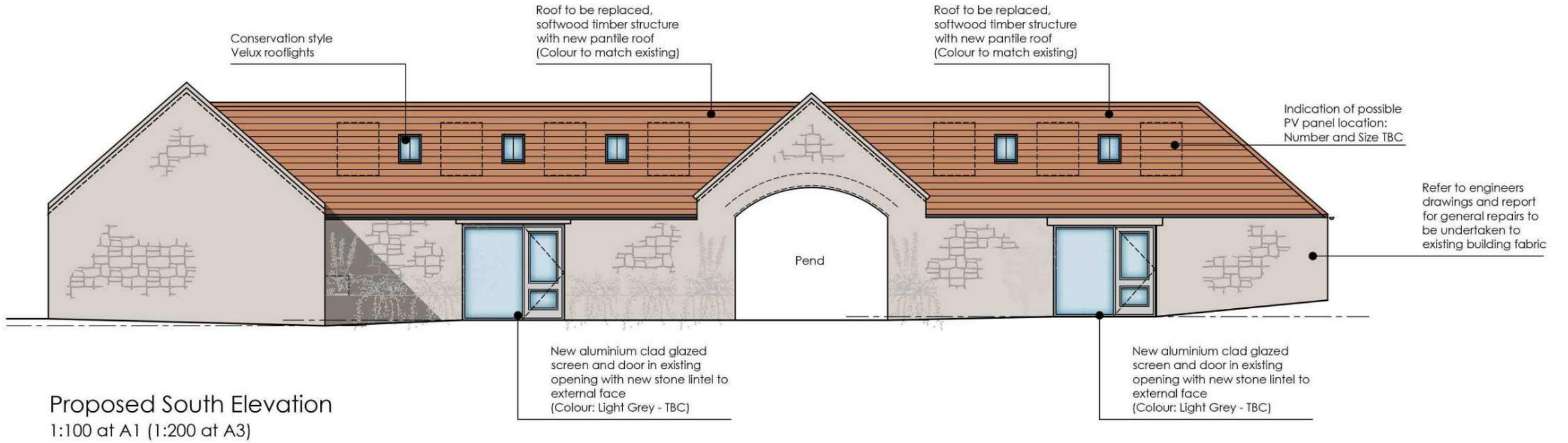


Section C-C
1:100 at A1 (1:200 at A3)

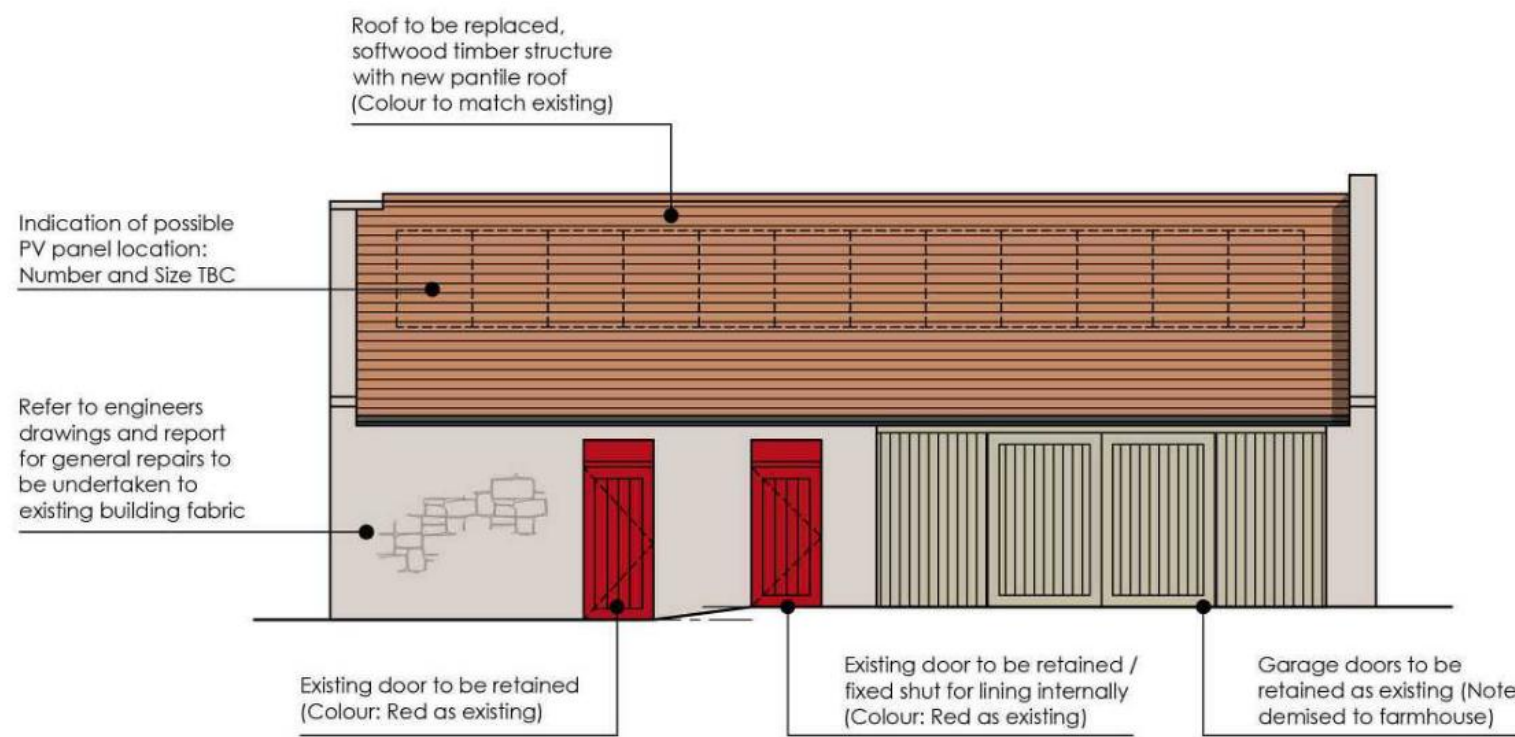


Section D-D
1:100 at A1 (1:200 at A3)

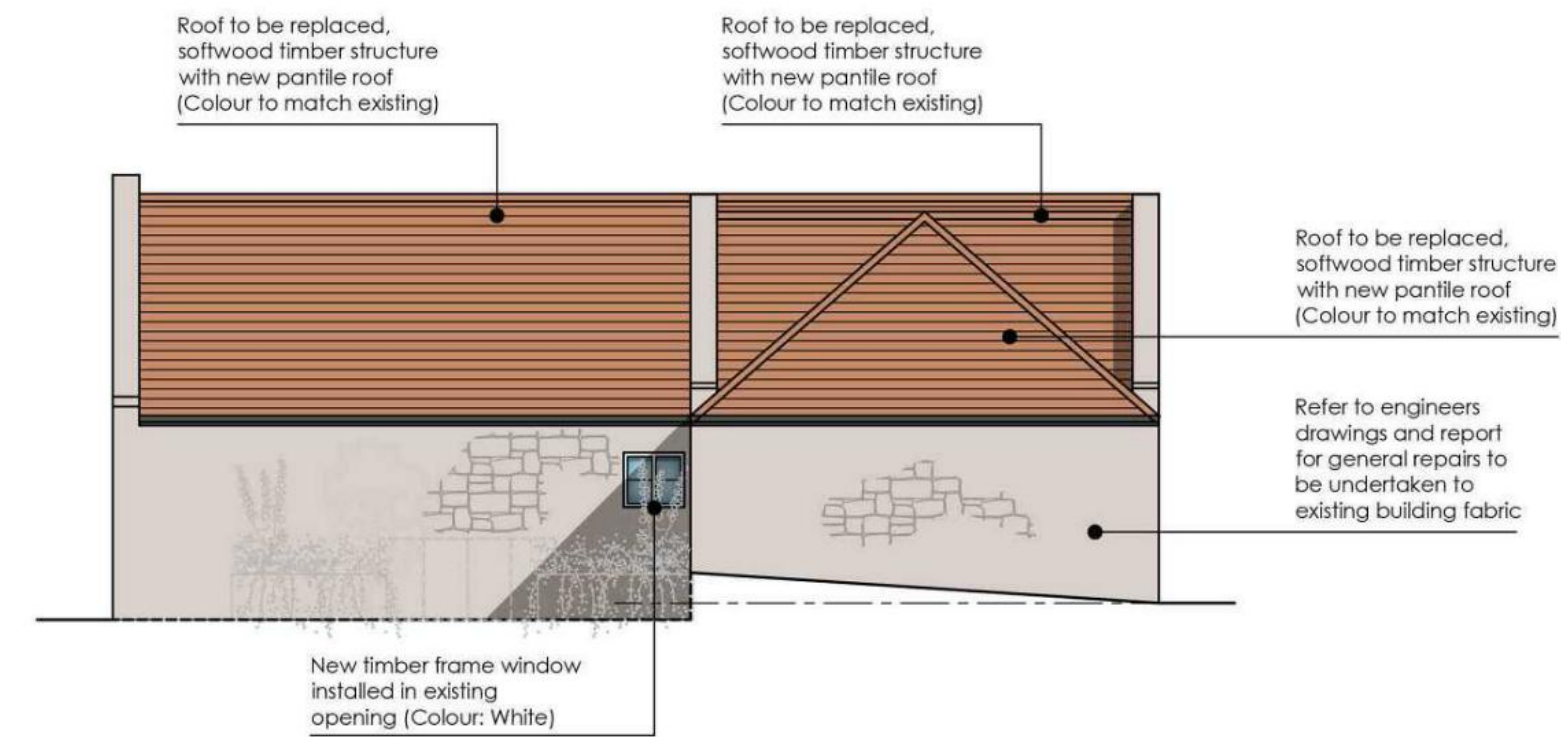
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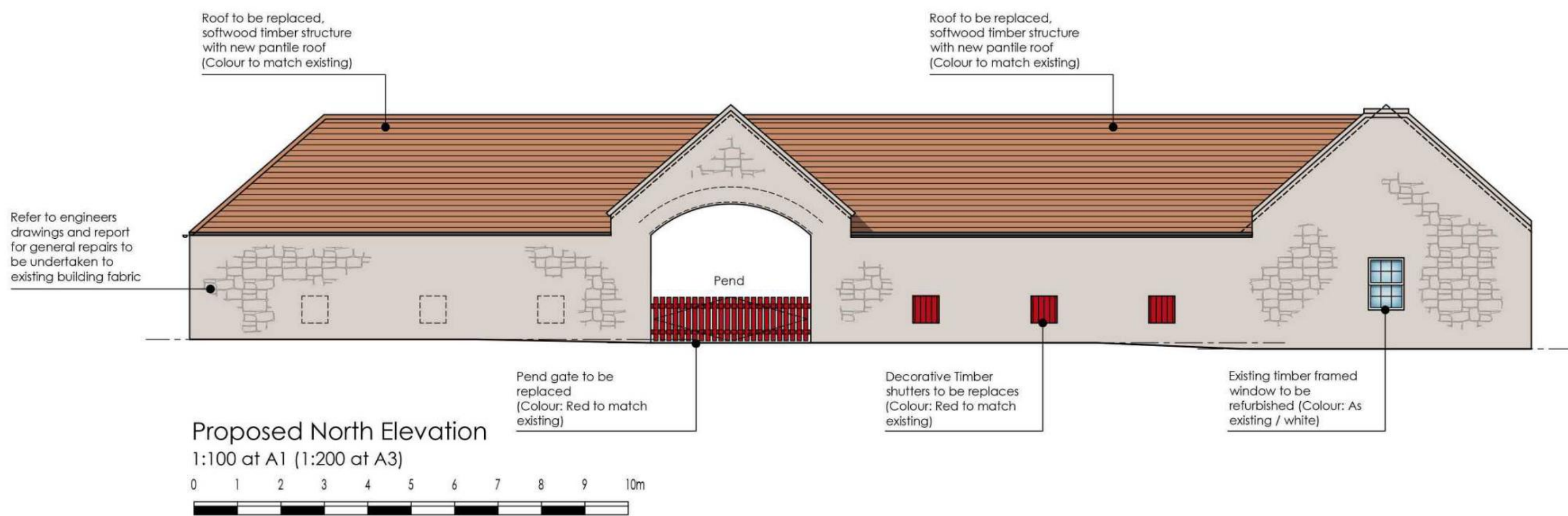
Proposed South Elevation
1:100 at A1 (1:200 at A3)



Proposed West Elevation
1:100 at A1 (1:200 at A3)



Proposed East Elevation
1:100 at A1 (1:200 at A3)



Proposed North Elevation
1:100 at A1 (1:200 at A3)

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Rev	Date	Details

Project
Carrington Mains Steading Workshop A

Client
Rosebery Estates Partnership

Drawing Name
Proposed Plans, Elevations and Sections

Project Number
2110-9

Revision
PLANNING

Drawing Number
2110-9_PL_101

Scale
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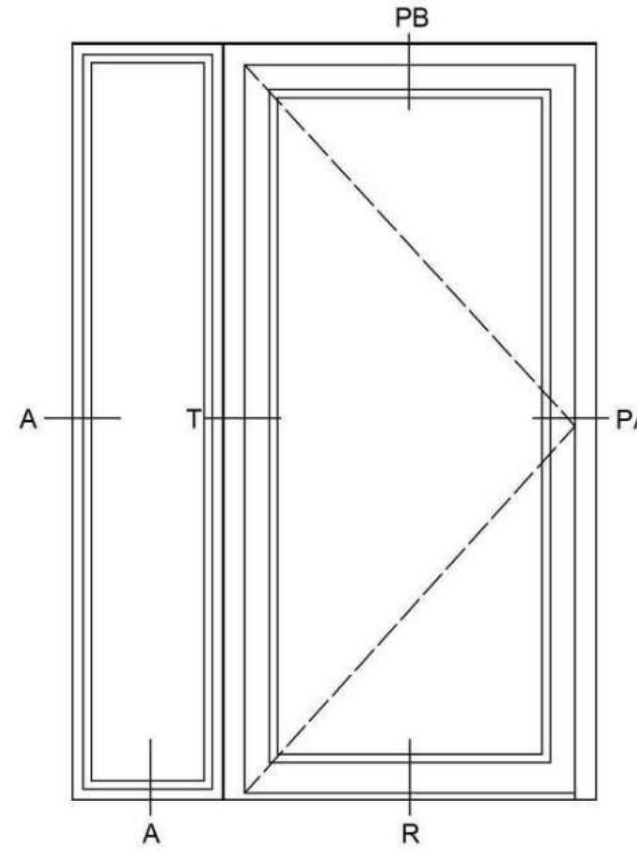
Proposed Base Build Upgrades
(Exact specification TBC during building warrant process)

Floor -
65mm Screed
150mm concrete slab
Polythene separation layer
75mm Kooltherm K103
DPM

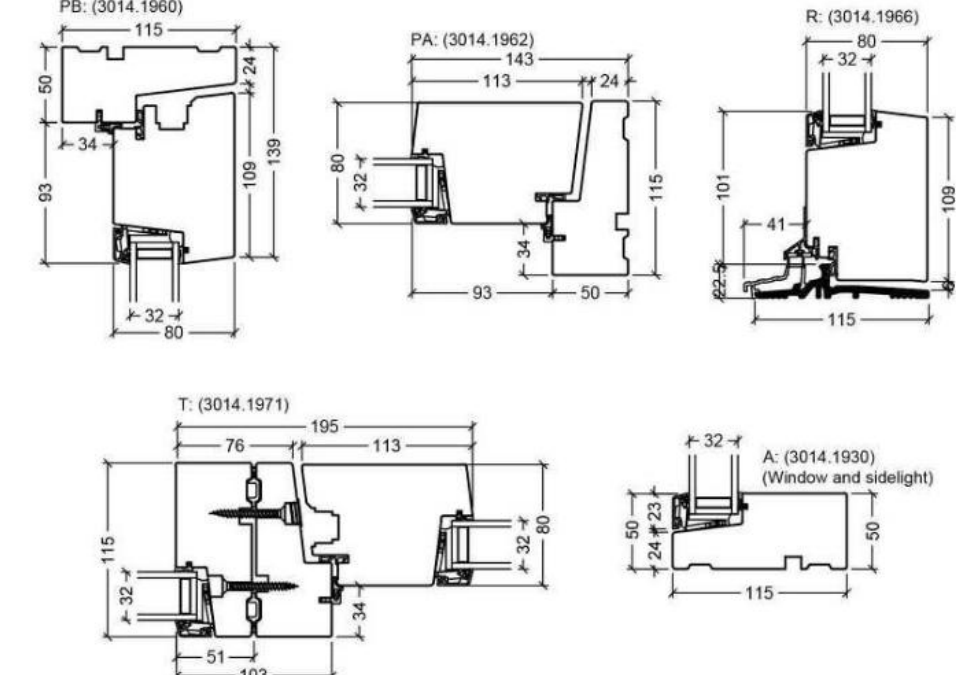
External walls -
600mm Stone
min 25mm cavity
75 x 50mm timber studs at 600mm centers
70mm Kooltherm K112
37.5 Kooltherm K118
Plaster skim

Ceiling -
Ventilated lost space
150mm Kooltherm K107 between joists
37.5mm Kooltherm K118 under joists
Plaster skim

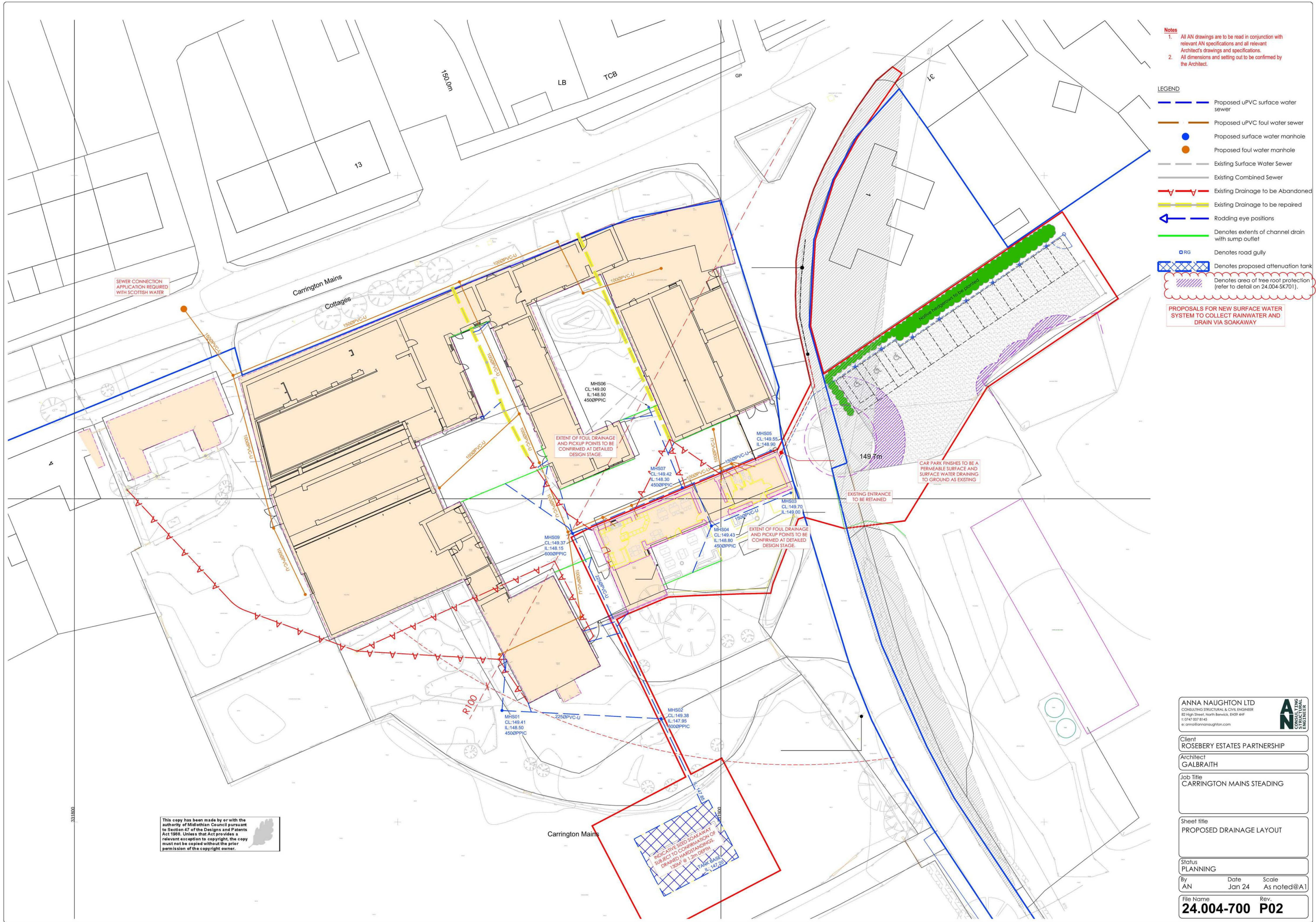
Pitched Roof -
Slate
Breathable membrane
18mm Softwood sarking boards (2-3mm gaps)
Timber Rafter
120mm Kooltherm K107 between
37.5 Kooltherm K118 below
Plaster skim



Sections Key



Typical Window/Door Sections
1:5 at A1 (1:10 at A3)



Notes

1. All AN drawings are to be read in conjunction with relevant AN specifications and all relevant Architect's drawings and specifications.
2. All dimensions and setting out to be confirmed by the Architect.

LEGEND

- Proposed uPVC surface water sewer
- Proposed uPVC foul water sewer
- Proposed surface water manhole
- Proposed foul water manhole
- Existing Surface Water Sewer
- Existing Combined Sewer
- Existing Drainage to be Abandoned
- Existing Drainage to be repaired
- Rodding eye positions
- Denotes extents of channel drain with sump outlet
- Denotes road gully
- Denotes proposed attenuation tank
- Denotes area of free root protection (refer to detail on 24.004-SK701).

PROPOSALS FOR NEW SURFACE WATER SYSTEM TO COLLECT RAINWATER AND DRAIN VIA SOAKAWAY

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Client
ROSEBERY ESTATES PARTNERSHIP

Architect
GALBRAITH

Job Title
CARRINGTON MAINS STEADING

Sheet title
PROPOSED DRAINAGE LAYOUT

Status
PLANNING

By
AN

Date
Jan 24

Scale
As noted@A1

File Name
24.004-700

Rev.
P02