



APPLICATION FOR PLANNING PERMISSION 23/00289/DPP FOR THE ERECTION OF A CARE HOME WITH ANCILLARY ACCOMMODATION AND ERECTION OF RETAIL UNIT; FORMATION OF CAR PARKING, LANDSCAPING; AND ASSOCIATED WORKS AT LAND AT GREENLAW MAINS, MAURICEWOOD ROAD, PENICUIK

Report by Chief Officer Place

1 SUMMARY OF APPLICATION AND RECOMMENDED DECISION

- 1.1 The application is for the erection of care home with ancillary accommodation and retail unit, the formation of car parking and landscaping and associated works at land at Greenlaw Mains, Mauricewood Road, Penicuik.**
- 1.2 There have been 71 representations and consultation responses from Scottish Water, the Coal Authority, the Council's Senior Manager Neighbourhood Services (Roads), the Council's Senior Manager Protective Services and the Midlothian Health and Social Care Partnership.**
- 1.3 The relevant development plan policies are policies 1, 2, 3, 13, 14, 15, 16, 20, 22, 23, 24, 25, 27 and 28 of the National Planning Framework 4 (NPF4) and policies STRAT1, DEV2, DEV5, DEV6, DEV7, TRAN5, IT1, TCR2, ENV9 and ENV18 of the Midlothian Local Development Plan 2017 (MLDP).**
- 1.4 The recommendation is to grant planning permission subject to conditions.**

2 LOCATION AND SITE DESCRIPTION

- 2.1 The application site forms part of a larger housing development site located to the northwest of the built up area of Penicuik, on land between Deanburn and Mauricewood Road. The development site was originally allocated for residential development in the 2003 Midlothian Local Plan. Detailed planning permission 12/00745/DPP for the erection of 422 dwellinghouses and 36 flatted dwellings and associated works at the wider housing site (site h25 'Greenlaw and adjacent land') in the MDLP was granted permission in 2016. There have been a number of subsequent applications to amend the approved layout.**

- 2.2 The site comprises rectangular parcel of land measuring approximately 0.39 hectares. The land within the site slopes from west to east.
- 2.3 The application site is surrounded by recently erected housing and associated roads except to the northwest where there is a steep embankment sloping up from the site to residential properties on a neighbouring development. There is a footpath running along the top of this embankment from southwest to north. The embankment has not been landscaped but the approved plans for the wider development show this to be a tree lined corridor. The application site was previously used as a construction site compound related to the residential development surrounding the site.
- 2.4 The existing built form within the area comprises two storey detached, semi-detached and terraced residential properties. There is a three storey building to the east which accommodates flatted dwellings. The buildings in the surrounding area are generally finished in render, reconstituted stone and concrete rooftiles.

3 PROPOSAL

- 3.1 Detailed planning permission is sought for the erection of a 54 bed care home, retail unit and vehicular accesses, along with associated works including car parking, drainage, ground level works, open space and landscaping.
- 3.2 The proposed care home has an L shaped footprint, with the longest elevations facing northwest and northeast. The care home building is to be three storeys (10.5 metres) high with a slight pitched roof behind a parapet wall. The care home would be accessed from the south where there is car parking with 23 spaces, including two electric vehicle charging points. The building would be externally finished in buff multi facing brick with dark grey uPVC window frames and doors, with a single ply membrane roof.
- 3.3 A patio area and private garden is to the northeast of the building, with a sensory garden to the south. Ground floor residents on the northwest elevation have private outdoor patio space. Balconies are at first and second floor of the internal east and south facing elevations. The care home includes dining rooms, quiet rooms, day rooms, bathing facilities, plant room and laundry. Residents and visitors would have access to a café, visitor's room, hair salon and cinema.
- 3.4 The proposed retail unit is single storey with a pitched roof and faces southeast. The retail floorspace is 218sqm. Eight parking spaces are proposed to the front of the retail unit, as well as a service bay to facilitate deliveries.
- 3.5 The application is accompanied by:

- A Planning Statement;
- Design and Access Statement;
- Noise Impact Assessment;
- Transport Statement;
- Coal Mining Risk Assessment;
- Drainage Impact Assessment; and
- Energy Report.

4 BACKGROUND

- 4.1 The application site forms part of a larger residential allocation, site h25, in the MLDP. The site was included in the 2008 Midlothian Local Plan (MLP) as site h16, having originally been allocated for housing in the 2003 Midlothian Local Plan.
- 4.2 The wider housing development site located to the north west of the built up area of Penicuik is referred to as 'Greenlaw and adjacent land' (site h25 allocated for 324 units in the 2008 MLP). Detailed planning permission 12/00745/DPP for the erection of 422 dwellinghouses and 36 flatted dwellings; formation of associated access road and parking areas; provision of open space incorporating footpaths, areas for play and sport, sustainable urban drainage features and landscaping; and other associated works at the wider allocated housing site (h25 allocated for 458 units in the MLDP) was granted planning permission in January 2016.
- 4.3 As part of application 12/00745/DPP the principle of a local centre to provide local facilities was approved. The current application site was identified as the location for this local centre. Conditions were attached to 12/00745/DPP stating:

Prior to the commencement of any construction work on plots 277 to 458, details for the proposed local centre shall be submitted to and approved in writing by the Planning authority. The submission will comprise a formal Planning application in accordance with Development Management Regulations.

And ...

Prior to the construction of the 325th residential unit on the site, work shall commence on the construction of the local centre, in accordance with the details approved under condition 9 above.

- 4.4 Further to the approval of 12/00745/DPP, there have been a number of amendments to the approved layout. The following applications have been approved with conditions and implemented. These did not include any proposed changes to the application site:
- 19/00263/DPP for the erection of 45 dwellinghouses (amendment to design approved in terms of planning permission 12/00745/DPP).

- 19/00256/DPP for the erection of 38 dwellinghouses (amendment to design approved in terms of planning permission 12/00745/DPP).
 - 18/00014/DPP for the erection of 13 dwellinghouses (amendment to house types approved in terms of planning permission 12/00745/DPP).
- 4.5 Application 22/00673/DPP, for the erection of care home with ancillary accommodation and retail unit, associated car parking and landscaping, was submitted in 2022 at the current site. This was subsequently withdrawn.
- 4.6 The application has been called-in to be considered by the Planning Committee by Councillor Imrie. Councillor Imrie has called this planning application in to be determined by Planning Committee as many of the objectors have written to all members of the Council and there is a presumption, by these representors, that it will be discussed at the Planning Committee.

5 CONSULTATIONS

- 5.1 **Scottish Water** does not object to the application. The water supply will be fed from Rosebery Water Treatment Works. The foul water drainage will be dealt with by the Edinburgh PFI Waste Water Treatment Works. Both have sufficient capacity at present. However it is not possible to reserve capacity for future developments. This will be subject to a separate regulatory process between the applicant and Scottish Water.
- 5.2 For reasons of sustainability, and to protect Scottish Water customers from potential future sewer flooding, Scottish Water will not accept any surface water connections into the combined sewer system. There may be limited exceptional circumstances where Scottish Water allow such a connection for brownfield sites only, however this will require significant justification from the customer taking account of various factors including legal, physical and technical challenges.
- 5.3 In order to avoid costs and delays where a surface water discharge to the combined sewer system is anticipated, the developer should contact Scottish Water at the earliest opportunity with strong evidence to support the intended drainage plan prior to making a connection request. The evidence will be assessed in a robust manner and any decision will reflect the best option from environmental and customer perspectives.
- 5.4 The **Coal Authority** does not object to the application.
- 5.5 The **Council's Senior Manager Neighbourhood Services (Roads)** does not object to the application. The level of parking proposed for

the care home is in line with the operational requirements of other care homes and given the location within a residential area, there would be opportunities for any visitors unable to find a parking place within the development to find suitable parking in the surrounding area. The proposed retail unit has an appropriate parking arrangement. The surface water drainage arrangements do not raise any flooding concerns. Conditions should be attached to any grant of planning permission securing cycle parking, details of the vehicle access and details of the proposed Care Home Travel Plan.

- 5.6 The **Council's Senior Manager Protective Services** does not object to the application subject to conditions being attached to any grant of planning permission to mitigate noise from associated plant equipment and to address ground contamination.
- 5.7 The **Midlothian Health and Social Care Partnership** does not object to the application and offer no comments.

“Midlothian has been experiencing the highest rate of population growth in with the extensive house building programme across the region. The planned housing developments and associated increase in the population is beginning to have a disproportionate impact on some medical practices compared to others. GPs are already under considerable pressure, regularly completing between 10,500 – 16,300 clinical contacts each week, with approximately 50% of the workload 'on the day' unscheduled demand. This proposed development would see an increase in residents with potentially complex needs and multi-morbidities, invariably leading to more demand on already stretched GP Practices.

We have no viable option to increase the footprint of any GP premises across Midlothian, and there is currently no funding mechanism available to link development of new General Practice premises to population expansion. Nationally, there is a shortage of qualified General Practitioners, which makes recruitment and retention extremely challenging. In respect to the GP practice in the vicinity of this proposed development there is a current recruitment pressure (3 GP vacancies) - resulting in reduced capacity & risk of list closure - so any new/imminent housing development in this area would be likely to exacerbate that pressure further.

In conclusion we are of the opinion that this proposed development would place considerable demand on already pressurised GMS services, with the potential risk of list closure.”

- 5.8 The consultation responses are available to view in full on the online planning application but raise the following concerns:

6 REPRESENTATIONS

6.1 There have been 71 representations received, which can be viewed in full on the online planning application case file. All representors objected to the application. A summary of the main points raised are as follows:

- The proposal is contrary to MLDP, Scottish Planning Policy and NPF4 in terms of 20 minute neighbourhoods, climate mitigation, design quality and place, sustainable transport and health policies;
- A care home was not the use originally specified by Taylor Wimpey or Avant. This was to be a local centre, single storey retail unit and nursery/crèche with outdoor space for use by the community. The proposals show a lack of trust and integrity by the housebuilders;
- A care home is not a use the surrounding community needs;
- A care home is not a suitable use in a residential area;
- People may not have moved to surrounding houses if they knew the site was to be a three storey care home;
- The proposal is contrary to the approval 12/00745/DPP where the site was to be a local centre;
- The wider site is already over the allocated housing numbers so 54 additional units is contrary to the MLDP;
- The proposal will have a detrimental impact on the estate;
- A three storey building will be out of keeping with the surrounding area;
- Other three storey buildings in the area were designed with consideration to the surrounding area and properties;
- The building will be out of scale with the area and too close to neighbouring properties and their boundaries;
- The building would directly overlook existing houses and impact on privacy to these occupants;
- The building will have an overbearing impact on existing houses;
- The building will result in loss of light to existing houses;
- The location of the retail unit appears as an afterthought and will impact on views from existing houses;
- The proposed tree planting will take decades to mature and offer any privacy;
- The gardens for the care home are small and either surrounded by parking or close to other houses, to the detriment of existing and future occupants;
- The three storey building will reduce the views of many occupants;
- Insufficient parking is proposed;
- The proposed parking is inadequate. Council standards require 0.75 spaces per bed plus 0.33 spaces for staff and insufficient spaces are proposed for these. Other visitor parking (for healthcare workers etc) has not been provided for;
- The lack of parking will likely lead to inconsiderate parking;
- The additional traffic would exacerbate existing traffic and lack of parking in the area;

- The traffic generated by this use will be unsafe with children in the area, with the site being close to a play area and route to school;
- The site is not easily accessed by public transport or by people with mobility issues;
- The topography, climate and roads in the surrounding area are not conducive to cycling;
- Disruption during construction from traffic and time to build would be detrimental to the quality of life on the estate;
- The condition of the roads are not good;
- The proposal will increase noise, pollution and reduce air quality as a result of the increase in traffic;
- Noise from staff changeovers and deliveries;
- The acoustic calculations for the external plant does not take into account openable windows in proximity to the plant area. This would have a detrimental impact on local and care home residents;
- The ventilation to the kitchen will be an eyesore and will have more visual impact than shown on the plans. This will also result in smell to the area;
- Light pollution as a result of the 24/7 nature of the care home;
- Noise, smells and fumes from the boiler room and refuse area;
- The bin collection area at Rosebank Place is outside the care home boundary and will increase commercial bin lorries in the residential area. Any bins not collected will attract vermin and result in smells. The bins would be unsightly and noisy which will disturb residents;
- Drainage and flooding concerns to the surrounding properties and area, which gets waterlogged regularly;
- There are factual inaccuracies in the transport statement including speed limits in the area, details of the surrounding roads and city bypass which raises questions over the credibility of this document;
- All comparable examples in the transport statement have a nearby train station and close to a centre which is not the case here;
- The design and access statement includes an out of date map and incorrect information, more relating to the previous application at this site rather than the current proposal;
- The submissions are inaccurate and misleading;
- The submissions state market research shows a need for the care home in the area, however this is not the case as care homes struggle to attract employees. The care home jobs add to an already stretched service will not only cause problems for the proposed care home but exacerbate the issue for existing facilities. Also GP appointments, pharmacy services, and dental care are already operating at capacity;
- Construction works may affect the ground conditions in the area;
- The impact on local infrastructure needs to be considered;
- Neighbour notification needs to be reviewed as all houses in the estate should have been consulted as most properties will be affected by the proposal;

- There was no information issued to local residents or meetings before the application was submitted, which should have been a normal requirement. This is a lack of transparency;
- The proposal is very similar to and has not addressed the concerns raised in the previous application;
- The previous similar application for a care home was widely objected to and rejected;
- The proposal should not even be considered and there should be no similar future submissions;
- There is no clarity on why the previous application was withdrawn. It is queried if there were any consultation between the developer and the Council before this was withdrawn;
- No details of the proposed ASHPs and solar panels are submitted;
- There are rooms within the thermal calculation shown as overheating at significant periods of the year, which do not comply with current regulations;
- The recent tactics undertaken by the Council are deeply unfair towards the community and the Council as a public institution should prioritise the community needs not the businesses;
- The submissions include amenities such as cafés, a celebration suite, a hair salon, a cinema, and a library. However, these are intended solely for the care home's residents, friends, and visitors. These do not contribute resources to the local community as initially suggested;
- The area is lacking in amenities and a care home will exacerbate this;
- More affordable housing is needed, not a care home;
- The Council has a responsibility to put existing residents first and ensure amenities are in walking distance;
- The proposal provides short term gain for the developer and no long term gain for local residents;
- Green spaces should be prioritised;
- The 24/7 nature of a care home will impact on people's mental health and sleep;
- Potential issues with people at the care home leaving the site to smoke, creating privacy, noise and litter problems;
- The site is not brownfield but retains much of its previously agricultural characteristics;
- The planning statement has not been prepared by a member of the local community so how do they know what is needed;
- Objection to a private care home when elderly residents are made to sell their house to pay the fees;
- No information on how the applicant will be contributing to the upkeep of the estate is submitted. As residents, staff and visitors will be using the roads, and possibly green spaces they should pay for a proportion of the upkeep;
- The proposed retail unit appears to be a token gesture intended to secure a favourable outcome;

- The submitted planning statement states the retail unit may not attract a tenant;
- If the Council wants a care home, do they not have appropriate land for this which can be given to the developer; and
- Residents have brought a lot to the local area through developer contributions, council tax payments, spending in local shops etc. There is a lot of interest in making this site a place for the community. However, the delays in determining the application impede the community's ability to take action and look at solutions on how residents can own and run the site, to add value to the community and make a better place for those who live within the surrounding housing developments.

7 PLANNING POLICY

7.1 The development plan is comprised of National Planning Framework 4 (2023) and the Midlothian Local Development Plan 2017.

7.2 The following policies are relevant to the proposal:

National Planning Framework 4 (NPF4)

7.3 **Policy 1 Tackling the climate and nature crises**; sets out to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis.

7.4 **Policy 2 Climate mitigation and adaptation**; sets out to encourage, promote and facilitate development that minimises emissions and adapts to the current and future impacts of climate change.

7.5 **Policy 3 Biodiversity**; sets out to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks.

7.6 **Policy 13 Sustainable Transport**; sets out to encourage, promote and facilitate developments that prioritise walking, wheeling, cycling and public transport for everyday travel and reduce the need to travel unsustainably.

7.7 **Policy 14 Design, quality and place**; sets out to encourage, promote and facilitate well designed development that makes successful places by taking a design-led approach and applying the Place Principle.

7.8 **Policy 15 Local Living and 20 minute neighbourhoods**; sets out to encourage, promote and facilitate the application of the Place Principle and create connected and compact neighbourhoods where people can meet the majority of their daily needs within a reasonable distance of their home, preferably by walking, wheeling or cycling or using sustainable transport options.

- 7.9 Policy **16 Quality homes**; sets out to encourage, promote and facilitate the delivery of more high quality, affordable and sustainable homes, in the right locations, providing choice across tenures that meet the diverse housing needs of people and communities across Scotland.
- 7.10 Policy **20 Blue and green infrastructure**; sets out to protect and enhance blue and green infrastructure and their networks.
- 7.11 Policy **22 Flood risk and water management**; sets out to strengthen resilience to flood risk by promoting avoidance as a first principle and reducing the vulnerability of existing and future development to flooding.
- 7.12 Policy **23 Health and Safety**; sets out to protect people and places from environmental harm, mitigate risks arising from safety hazards and encourage, promote and facilitate development that improves health and wellbeing.
- 7.13 Policy **24 Digital Infrastructure**; sets out to encourage, promote and facilitate the rollout of digital infrastructure across Scotland to unlock the potential of all our places and the economy.
- 7.14 Policy **25 Community wealth building**; sets out to encourage, promote and facilitate a new strategic approach to economic development that also provides a practical model for building a wellbeing economy at local, regional and national levels.
- 7.15 Policy **27 City, town, local and commercial centres**; sets out to encourage, promote and facilitate development in our city and town centres, recognising they are a national asset. This will be achieved by applying the Town Centre First approach to help centres adapt positively to long-term economic, environmental and societal changes, and by encouraging town centre living.
- 7.16 Policy **28 Retail**; sets out to encourage, promote and facilitate retail investment to the most sustainable locations that are most accessible by a range of sustainable transport modes.

Other National Policy

- 7.17 **Designing Places, A Policy Statement for Scotland** sets out the six key qualities which are at the heart of good design namely identity, safe and pleasant environment, ease of movement, a sense of welcome, adaptability and good use of resources.
- 7.18 The **Scottish Government's Policy on Architecture for Scotland** sets out a commitment to raising the quality of architecture and design.

Midlothian Local Development Plan 2017 (MLDP)

- 7.19 Policy **STRAT1: Committed Development** seeks the early implementation of all committed development sites and related infrastructure, facilities and affordable housing, including sites in the established housing land supply. Committed development includes those sites allocated in previous development plans which are continued in the MLDP.
- 7.20 Policy **DEV2: Protecting Amenity within the Built-Up Area** states that development will not be permitted within existing and future built-up areas where it is likely to detract materially from the existing character or amenity of the area.
- 7.21 Policy **DEV5: Sustainability in New Development** sets out the requirements for development with regards to sustainability principles.
- 7.22 Policy **DEV6: Layout and Design of New Development** states that good design and a high quality of architecture will be required in the overall layout of development proposals. This also provides guidance on design principles for development, materials, access, and passive energy gain, positioning of buildings, open and private amenity space provision and parking.
- 7.23 Policy **DEV7: Landscaping in New Development** requires development proposals to be accompanied by a comprehensive scheme of landscaping. The design of the scheme is to be informed by the results of an appropriately detailed landscape assessment.
- 7.24 Policy **TRAN5: Electric Vehicle Charging** seeks to support and promote the development of a network of electric vehicle charging stations by requiring provision to be considered as an integral part of any new development or redevelopment proposals.
- 7.25 Policy **IT1: Digital Infrastructure** supports the incorporation of high speed broadband connections and other digital technologies into new homes, business properties and redevelopment proposals.
- 7.26 Policy **TCR2: Location of New Retail and Commercial Leisure Facilities** states that the Council will apply a sequential town centre first approach to the assessment of applications. This directs retail developments to the following areas in order:
- Town Centre - Bonnyrigg, Dalkeith, Gorebridge, Loanhead, Mayfield, Newtongrange, Penicuik, Shawfair
 - Commercial centre – Straiton Commercial Centre
 - Potential out of centre location - Main corridor from Gorebridge/Redheugh to Newtongrange

- Local Centres - Danderhall, Bonnyrigg/Hopefield, Bonnyrigg/Poltonhall, Dalkeith/Thornycroft, Dalkeith/Wester Cowden, Dalkeith/Woodburn, Eskbank Toll, Gorebridge/Hunterfield Road, Bilston, Penicuik/Edinburgh Road, Roslin and Pathhead

- 7.27 Policy TCR2 also states that new shopping facilities, up to a scale of 1,000sqm gross floor area, will be permitted within local centres, provided they do not undermine the vitality and viability of any of Midlothian's town centres. It also states that elsewhere within the built-up area such facilities will be supported where new housing developments are not adequately served by existing centres. Any such development should not have a negative effect on the amenity of the adjoining residential area, including traffic and parking considerations.
- 7.28 Policy **ENV9: Flooding** presumes against development which would be at unacceptable risk of flooding or would increase the risk of flooding elsewhere. It states that Flood Risk Assessments will be required for most forms of development in areas of medium to high risk, but may also be required at other locations depending on the circumstances of the proposed development. Furthermore it states that sustainable urban drainage systems will be required for most forms of development, so that surface water run-off rates are not greater than in the site's pre-developed condition, and to avoid any deterioration of water quality.
- 7.29 Policy **ENV18: Noise** requires that where new noise sensitive uses are proposed in the locality of existing noisy uses, the Council will seek to ensure that the function of established operations is not adversely affected.

8 PLANNING ISSUES

- 8.1 The main planning issue to be considered in determining this application is whether the proposal complies with development plan policies, unless material planning considerations indicate otherwise. The planning history, representations and consultation responses received are material considerations.

Principle of development

- 8.2 The site is located within the built-up area of Penicuik where there is a presumption in favour of appropriate development. The proposal would not lead to the loss of valuable open space.
- 8.3 The concept of a local centre being established on the part of the development site which comprises this planning application site is well established. While the occupants/operators of the local centre were not specifically defined (nor could they be) through the conditions attached to planning permission 12/00745/DPP the provision, and phasing of the delivery, of a local centre were covered. At the time of

the 2012 planning application it was expected that the local centre would not include housing and would be made up of commercial uses, such as retail, a crèche and other uses appropriate to a local centre.

- 8.4 The principle of delivering a class 1 retail unit on the site is established through the extant planning permission ref: 12/00745/DPP and therefore the spatial requirements of policy TCR2 of the MLDP do not prohibit this development. The original 2012 consent does condition the requirement for a “Local Centre”, implying the provision of multiple local facilities for the nearby residents.
- 8.5 The provision of a single retail unit is considered to be a use which is acceptable in principle within a local centre. It is not quite as clear that the provision of a private care home (Class 8) would contribute to local facilities provided within a local centre. However, as stated previously there is no definition, or list, of the commercial uses which would be acceptable within the local centre. The care home will potentially provide accommodation for members of the community who no longer can live independently in their own home. It would provide scope for elderly members of the community to remain in the same community. In addition, the care home will have a café, hair salon, cinema and function room which will be available for the general public to use. These are considered to be local facilities which the local community can utilise and are commercially viable because of the care home use.
- 8.6 A number of objectors have stated that the housebuilder advised that the site would be a single storey retail unit and creche/nursery. Application 12/00745/DPP included general proposals for the provision of land for a small commercial centre. However the detail of the local centre was to be subject to a separate planning application and it was not conditioned what this would include, only that this development was to provide local facilities. The Council was not party to discussions between the housebuilder and house purchasers during the sale and purchase of the nearby homes. However, it is the case that there was, and still is, no approved detail relating to the local centre.
- 8.7 With regard to the policies NPF4, although the site is allocated for housing in the MLDP, consideration still needs to be given to the site’s location in terms of sustainability. In this regard the site is in close proximity to a large number of residential properties, facilities that care home residents would use, public transport options and active travel connections and as such is considered to be in a sustainable location in compliance with NPF4.
- 8.8 As a result of the above, the creation of a local centre comprising a care home, on the basis of what has been submitted (including all of the facilities), and a retail unit comply with the terms of the 2012 planning permission and are acceptable in principle.

Design, Scale and Layout

- 8.9 The majority of the surrounding buildings are two storey detached, semi-detached and terraced housing of traditional scale and form. There is a three storey flatted block to the east.
- 8.10 The care home is positioned at the rear (west) of the application site, with parking close to existing parking in the area. The retail unit is sited at the front (east) of the application site, occupying the prominent site frontage. There are small areas of open space within the site.
- 8.11 The proposed care home is three storeys high and therefore larger in scale than some of the surrounding buildings. The scale and design of the proposed development is distinctly different from the surrounding area, with a contemporary flat roof appearance and larger window openings. While this design approach contrasts with the surroundings it identifies the site as being distinctly different in use from the surrounding residential buildings and provides an urban design point of focus.
- 8.12 The design of the care home has been altered from that proposed in the previously withdrawn application, largely through the removal of the hipped roof and replacement with a shallow pitched roof. This has markedly reduced the overall scale, form and impact the building would have on the amenity of the surrounding area and properties. This, combined with the care home being positioned to the rear of the site behind the retail unit, limits the visual impact of the care home in the area and responds to comments made on the earlier planning application. The scale and design are appropriate despite being of a larger massing at third storey level, compared to pitched roofs at similar heights.
- 8.13 The proposed retail unit is single storey with a pitched roof parallel to the adjacent road, matching the orientation of houses in the area.
- 8.14 The two proposed buildings are to be finished in facing brick. Details of the brick can be required by condition, however the use of buff brick as suggested would not be appropriate. Other types of brick have been used effectively elsewhere in the area and in Midlothian, which can be effective in delivering textured detailing which break up larger elevations.
- 8.15 There are a number of flues on the care home, with the largest appearing to be serve a kitchen that projects 2 metres high. This is positioned on a 10.5 metre high building and set back over 6 metres from the nearest elevation. The combination of the height of the building with the flue being set back from the wall means that the visual impact of this will be limited. The position means that any fumes will be easily dispersed in the area.

- 8.16 Due to the levels within the site and surrounding area, some retaining walls are proposed. The highest is to the south of the care home, between the open space and parking area. This retaining feature is proposed to be 1.1 metres to 1.3 metres high with a 1.1 metre high steel railing above. While this will be a large feature it will be separated from existing properties by open space and a road. The use of a lightweight railing above will limit the visual impact of this structure.
- 8.17 The levels also mean the retail unit will have an under-build of 0.45 metres at the east elevation. The visual impact of this is limited through the use of large areas of glazing on this elevation. In this instance this is acceptable.
- 8.18 Overall, the proposed design approach is a logical urban design solution to accommodate a local centre, with facilities available to the community, within a wider residential development.

Amenity Space

- 8.19 The care home provides communal outdoor amenity space in the form of communal balconies, private garden/patios and a sensory garden. There is almost 300 square metres of amenity space to the north of the care home, forming garden ground and an external terrace enclosed by a 1.8 metre high timber fence. The sensory garden by the building's entrance includes a seating area and small putting green. This is approximately 150 square metres. There is also 5 metres of open space to the west boundary between the care home and the boundary fence, separating the site from the steep slope up to the footpath and neighbouring properties. Therefore there is adequate amenity space provided for the development.

Impact on Surrounding Properties

- 8.20 The neighbouring two storey houses could be affected by the proposal in terms of impact on privacy, loss of light and the care home in particular having an overbearing impact. The house to the north, 13 Rosebank Place, would be most affected along with the houses to the west and the house to the south at 61 Porterfield Crescent.
- 8.21 The north elevation of the care home is 10.7 metres from the side elevation of 13 Rosebank Place and 9 metres to the shared boundary. While this is relatively close, tests carried out during the assessment of the planning application have demonstrated that the care home would not significantly adversely affect light to the garden or house to a degree to warrant refusal. There would be some loss of light during the afternoon, mainly between the hours of 2pm and 3pm. However more than half the garden ground would remain unaffected, which is acceptable.

- 8.22 There is potential for overlooking from the care home to the garden ground of 13 Rosebank Place, especially as the care home is proposed to be three storeys in height. However the layout of the care home means the section of the elevation facing the garden at 13 Rosebank Place has no windows which directly overlook this garden. The closest windows to this garden serve halls and stairwells, which would further limit overlooking as compared to if these served living accommodation. Given this, there is no significant overlooking from the care home to the house or garden at 13 Rosebank Place.
- 8.23 There are two windows at 13 Rosebank Place facing the care home, which serve a bathroom and en-suite. Given the uses of these rooms, the proposal would not have an overbearing impact on the outlook of these rooms. Also, the use of these rooms limits any impact on privacy between properties.
- 8.24 The house to the south, at 61 Porterfield Crescent, is 19 metres from the site boundary and 26 metres from the closest point of the care home. There are two windows on the elevation facing the care home, again serving a bathroom and ensuite. Given the orientation of the site, the distance from the care home, and the window arrangement of this property there would not be a significant impact on the amenity of the occupants of this property as a result of the proposal.
- 8.25 The boundary of the houses to the west are 34 metres from the care home, with the closest elevations 47 metres away. Although the care home is three storeys high and could overlook these houses and gardens, the distance between buildings exceeds the accepted distances of 25 metres between rear elevations of properties, which means there would not be significant adverse impact on the amenity of existing and future residents.
- 8.26 Due to the position, size and scale of the retail unit, this would not have significant adverse impact on the amenity of nearby residential properties.
- 8.27 The proposed bin collection area is from a public road, close to a parking area and opposite houses. This will not have an additional adverse impact on residential amenity as compared to the existing situation.

Parking and Road Safety Issues

- 8.28 The Council's Senior Manager Neighbourhood Services (Roads) has considered this proposed development and has not raised any road safety concerns regarding the proposed care home and retail use. The use of the site as a care home and retail unit would not result in additional road safety issues as compared to those that could arise from an alternative development of the application site.

- 8.29 There is some concern, raised by representors, regarding the level of staff and visitor parking proposed for the care home. Given the specialised nature of care homes, the standard parking ratio for 'Residential Homes' would not be appropriate and sufficient parking for staff, with additional spaces for visitors, is more appropriate. The submitted Transport Statement (TS) states that 23 parking spaces are provided for the care home, however only 19 spaces are shown. It is assumed that the four spaces accessed from Meikle Drive are allocated to the care home, providing the 23 parking spaces stated.
- 8.30 The TS states that 20 staff would be based on site and indicates that some could live locally and may travel to work by foot or public transport. The TS also provides information on the parking arrangements at existing care homes operated by the developer. The majority of these have lower levels of staff and visitor parking than proposed and the TS indicates these are operating without any parking issues. The TS also includes a Framework Travel Plan for the care home which indicates the type of measures that the management would use as part of their own Travel Plan, with the aim to encourage staff and visitors to use more sustainable travel options.
- 8.31 The proposed 23 parking spaces are in line with the operational requirements of other care homes. Given the location, within a residential area, there would be opportunities for any visitors unable to find a parking place within the development to find suitable parking in the surrounding area. Therefore the parking provision for the care home is considered acceptable. Any illegal parking would be a matter for the Police.
- 8.32 The parking for the retail unit is acceptable.
- 8.33 Further detail of the proposed cycle parking is required, as are details of the proposed Care Home Travel Plan.
- 8.34 Any disruption during construction from traffic, noise, pollution or reduction in air quality is unlikely to be at an unacceptable level and would not be significantly different to that caused by an alternative development of the site.
- 8.35 The applicant's agent has confirmed it is not the intention to close any roads in the area during development.

Noise

- 8.36 The Senior Manager Protective Services considered the Noise Impact Assessment and plans. These have addressed previous noise concerns and so there are no noise concerns arising from the proposal. The only comments on noise relate to requiring an acoustic fence to be erected around the air source heat pump (ASHP). The ASHP has subsequently been withdrawn from the proposal. There are no

concerns regarding noise, smells or fumes from the boiler room and refuse area.

- 8.37 Any noise from staff changeovers and deliveries would not be significantly different for the proposed development compared to other commercial proposal at this site.

Landscaping and Biodiversity

- 8.38 The proposed landscaping is generally acceptable. However, there should be additional planting to integrate the site into the surrounding area. This additional planting would also connect the site with the emerging green network in the wider area, such as the landscape corridor on the embankment to the west and open space to the southeast. The use of rain gardens, to allow for infiltration of rainwater from roofs, hard surfaces and to optimise the biodiversity value of the site, should be secured by condition. Additional planting could be in the form of climbers and/or ivy screens to soften the impact of fencing, adding interest and benefiting wildlife. The submissions include bat and bird boxes, which is welcomed. These details can be secured by condition.

Developer Contributions

- 8.39 Due to the uses proposed and their scale and location, in this instance there is no requirement for developer contributions.

Other Matters

- 8.40 The drainage information submitted is acceptable. The proposal would not increase flood risk in the area.
- 8.41 Privacy, noise and litter problems from people leaving the site to smoke would not be significantly different for the proposed development compared to other commercial proposals at this site.
- 8.42 Should permission be approved, details of the proposed solar panels would be required to be submitted for approval.
- 8.44 The proposal includes lighting within the garden ground of the care home and the car parks. This is a combination of streetlights, wall lights and bollards. There are bollard lights to the north of the care home which could have some impact on the amenity of the adjacent properties, as there are windows on the side elevations of these houses. However the windows serve bathrooms and a hall and so any impact is limited and not significant. There are lights that may affect the houses to the south, however this is separated from the site by a road and existing streetlights so this is not considered significant.

- 8.45 From an economic development perspective the development would support Community Wealth Building principles and create employment opportunities - promoting local business development through the retail and other opportunities presented by this development, such as hair salon, cinema, cafe and function room. The retail and other opportunities should complement local services provided by the nearby local shops, and superstore.
- 8.46 The Midlothian Health and Social Care Partnership (MHSCP) have expressed both a general concern over the scale of housing/population growth in Midlothian and its resulting impact on health provision services, and a concern at a local level, identify three GP vacancies in Penicuik.
- 8.47 The applicant has also contacted MHSCP and the local GP practice to make them aware of the proposal. The applicant has provided the following information in relation to the impact of the development on local NHS services based on their engagement:
- . The Care Home will have 24hr on-site Registered Nurse cover, this on-site presence will reduce the requirement to seek an appointment at the local GP practice or have a GP visit to the Care Home,
 - . Alignment between a local GP practice and Care Home has proved hugely successful in other areas. Clinical staff on-site liaise with the practice and assist when rolling out programmes such as flu & covid vaccines. On-site nurses will provide nursing and dementia care which includes palliative care. Nurses will be trained and have the clinical skills to deliver the necessary care without needing constant input from the local GP practice,
 - . It is the case that concerns for residents doesn't always result in the need for a GP visit to the Care Home or appointment at the GP practice. Telephone consultations along with NHS 24 are used to triage and make decisions about next steps.
 - . It is anticipated that a significant proportion of residents within the care home will be from the local area and therefore already registered with local healthcare services.
- 8.48 The measures set out by the applicant would in part (but not completely) address the concerns regarding the potential impact on local NHS services. Furthermore, the Council as the local planning authority has to balance the need and demand for housing and facilities such as the proposed care home against the well documented pressure on all health care services. In this case the pressure on services are outwith the control and influence of the planning authority or the applicant – for example the MHSCP identify three vacant GP posts in Penicuik, filling these posts cannot be secured via a planning application and the vacancies cannot be used as a reason to refuse planning permission as it is considered not to be a material planning consideration. The Planning system can help to identify sites and

secure infrastructure through the development plan process if a facility deficiency (not staffing) is identified and evidenced – no such deficiency was identified in the preparation of the MLDP, the basis of assessment for the current application.

Consideration of Representor Comments Not Addressed Above

- 8.49 Neighbour notification was carried out in line with the relevant regulations, which is to all notifiable neighbours within 20 metres of the application site. The application was also advertised in the local press. While it may be useful for agents to issue information to local residents or hold meetings in advance of an application being submitted, there is no statutory requirement for this to be done for a development of this scale.
- 8.50 There is no requirement for supporting documents to be prepared by people local to an area.
- 8.51 Payment of care home fees is not a planning matter/consideration.
- 8.52 Any contribution to the upkeep of the estate by the care home would be a private legal matter between the relevant parties and is not a planning consideration.
- 8.53 The Council can only determine the application that has been submitted, rather than require the site to be used for an alternative use, such as affordable housing.
- 8.54 While the proposed development may limit the view from some residential properties the Council cannot protect views from private properties. It is not a material consideration in the assessment of planning applications
- 8.55 The Coal Authority has not raised any objection to the proposal. Any concerns over ground conditions in the area would be addressed through the Building Warrant process. Any non-compliance with Building Warrant regulations would be addressed by the Building Standards process.

9 RECOMMENDATION

- 9.1 That planning permission granted for the following reason:

The proposed development is in keeping with the surrounding residential area and would not have an adverse impact on the character or appearance of this or the amenity of nearby residential properties. The proposed detailed scheme of development in terms of its layout, form and design is acceptable and as such accords with development plan policies. The presumption for development is not outweighed by any other material considerations. As such the proposal

complies with policies STRAT1 and DEV2 of the Midlothian Local Development Plan 2017 and the aims of National Planning Framework 4.

Subject to the following conditions:

1. The development to which this permission relates shall commence no later than the expiration of three years beginning with the date of this permission.

Reason: *To accord with the provisions of Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended by the Planning (Scotland) Act 2019).*

2. Development shall not begin until a scheme to deal with any contamination of the site and/or previous mineral workings has been submitted to and approved by the planning authority. The scheme shall contain details of the proposals to deal with any contamination and/or previous mineral workings and include:
 - i. the nature, extent and types of contamination and/or previous mineral workings on the site;
 - ii. measures to treat or remove contamination and/or previous mineral workings to ensure that the site is fit for the uses hereby approved, and that there is no risk to the wider environment from contamination and/or previous mineral workings originating within the site;
 - iii. measures to deal with contamination and/or previous mineral workings encountered during construction work; and
 - iv. the condition of the site on completion of the specified decontamination measures.

Before any part of the site is occupied for commercial or residential purposes, the measures to decontaminate the site shall be fully implemented as approved by the planning authority.

3. On completion of the decontamination/remediation works required in condition 2 and prior to any unit being occupied on site, a validation report or reports shall be submitted to the planning authority confirming that the works have been carried out in accordance with the approved scheme. No part of the development shall be occupied until this report has been approved by the planning authority.

Reason for conditions 2 and 3: *To ensure that any contamination on the site/ground conditions is adequately identified and that appropriate decontamination measures/ground mitigation measures are undertaken to mitigate the identified risk to site users and construction workers, built development on the site, landscaped*

areas, and the wider environment; to ensure the remediation works are undertaken.

4. Prior to the commencement of development, the following details shall be submitted to and approved in writing by the planning authority:
 - a) Details and samples of all proposed external materials;
 - b) Details of the materials of all areas of hardstanding;
 - c) Details of the electric vehicle charging equipment;
 - d) Details of the proposed cycle parking;
 - e) Details of the position, design, materials, dimensions and finish of all walls, fences, gates or other means of enclosure;
 - f) Details of the sprinkler tank, including dimensions, elevations, materials and finish;
 - g) Details of a scheme of landscaping for the site. Details shall include the a planting schedule with plant species, sizes and landscape specification, including ground preparation, topsoil, subsoil, soil ameliorants, pot sizes/ root condition for trees and hedging, details of planting density and/or numbers, and details of plant protection;
 - h) Details of a sustainability/biodiversity scheme for the site, including the provision of house bricks and boxes for bats and swifts and small mammal passage points in any fencing;
 - i) Details of the proposed hours of operation of the retail unit; and
 - j) Details of the proposed Care Home Travel Plan.

Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be agreed in writing with the planning authority.

Reason: *These details were not submitted as part of the application: to ensure the development is finished in high quality materials; to protect the visual amenity of the surrounding area; to ensure the development is provided with adequate amenity; to help integrate the proposal into the surrounding area.*

5. The use of buff brick is not approved. The details required in condition 4a) hereby approved shall include details of an alternative brick finish.

Reason: *To ensure the proposal is finished in materials appropriate to the surrounding area.*

6. The areas of hardstanding agreed in terms of condition 4b) shall be surfaced in a porous material.

Reason: *To ensure that the site is adequately drained; in the interests of the amenity of the area*

7. Before the care home or retail unit is occupied or completed, whichever is first, the installation of the means of drainage treatment and disposal hereby approved shall be completed to the satisfaction of the planning authority.

Reason: *To ensure that the development is provided with adequate drainage facilities prior to occupation.*

8. The landscape plan approved in condition 4g) shall investigate the use of rain gardens to allow for infiltration of rainwater, such as from roofs and hard surfaces. If this is not possible, details of why shall be provided for approval.

Reason: *To optimise the biodiversity value of the site.*

9. The landscape plan approved in condition 4g) shall include a planting schedule which includes native planting.

Reason: *To ensure the planting is appropriate for the site, native and promotes biodiversity.*

10. The landscape plan approved in condition 4g) shall include shrub planting between the care home and retail unit car parks.

Reason: *To reduce the visual impact of parked vehicles.*

11. The landscape plan approved in condition 4g) shall include living screens or native flowering climbing plants or ivy screens on tensioned wire trellis systems attached to the buildings hereby approved unless otherwise approved in writing by the planning authority.

Reason: *To soften the impact of fencing, add interest and benefit wildlife.*

12. The scheme of landscaping approved in accordance with condition 4g) shall be carried out and completed within six months of the care home or retail unit either being completed or brought into use, whichever is the earlier date. Any trees or hedgerow removed, dying, severely damaged or becoming seriously diseased within five years of planting shall be replaced in the following planting season by trees or hedge planting of a size and species similar to those originally required.

Reason: *To ensure the landscaping is carried out and becomes successfully established.*

13. Development shall not begin until details, including a timetable of implementation, of superfast broadband have been submitted to and approved in writing by the planning authority. The details shall

include delivery of superfast broadband prior to the occupation of the care home. The delivery of superfast broadband shall be implemented as per the approved details.

Reason: *To ensure the quality of the development is enhanced by the provision of appropriate digital infrastructure in accordance with the requirements of policy IT1 of the Midlothian Local Development Plan.*

14. The vehicle access to the retail parking area shall be formed as a vehicle 'drop kerb' crossing rather than the standard 'bell mouth' arrangement.

Reason: *To give priority to pedestrians using the public footway.*

15. The design and installation of all plant, machinery and equipment shall be such that the combined noise level shall not exceed NR 30 daytime (07:00 to 23:00 hrs) or NR 25 if the noise is tonal and NR 25 night-time (23:00 to 07:00 hrs) or NR 20 if the noise is tonal as measured from within any living apartment in any neighbouring noise-sensitive premises.

16. Development shall not begin until an application for approval of matters specified in conditions for a Construction Environment Management Plan (CEMP) has been submitted to and approved in writing by the planning authority. The CEMP shall include:

- i. Details of construction access routes;
- ii. signage for construction traffic, pedestrians and other users of the site;
- iii. controls on the arrival and departure times for construction vehicles, delivery vehicles and for site workers (to avoid school arrival/departure times);
- iv. details of piling methods (if employed);
- v. details of any earthworks;
- vi. control of emissions strategy;
- vii. a dust management plan strategy;
- viii. waste management and disposal of material strategy;
- ix. a community liaison representative will be identified to deal with the provision of information on the development to the local community and to deal with any complaints regarding construction on the site;
- x. prevention of mud/debris being deposited on the public highway;
- xi. material and hazardous material storage and removal; and
- xii. controls on construction, engineering or any other operations or the delivery of plant, machinery and materials (to take place between 0700 to 1900hrs Monday to Friday and 0800 to 1300hrs on Saturdays).

Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be approved in writing with the planning authority.

***Reason:** In order to control the construction activity on the site, ensure environmental impact during the construction period is acceptable and to ensure appropriate mitigation is in place.*

Peter Arnsdorf
Planning, Sustainable Growth and Investment Manager

Date: 20 October 2023

Application No: 23/00289/DPP

Applicant: Morrison Community Care (Penicuik) Devco Limited

Agent: Callum Fraser, Icen Projects

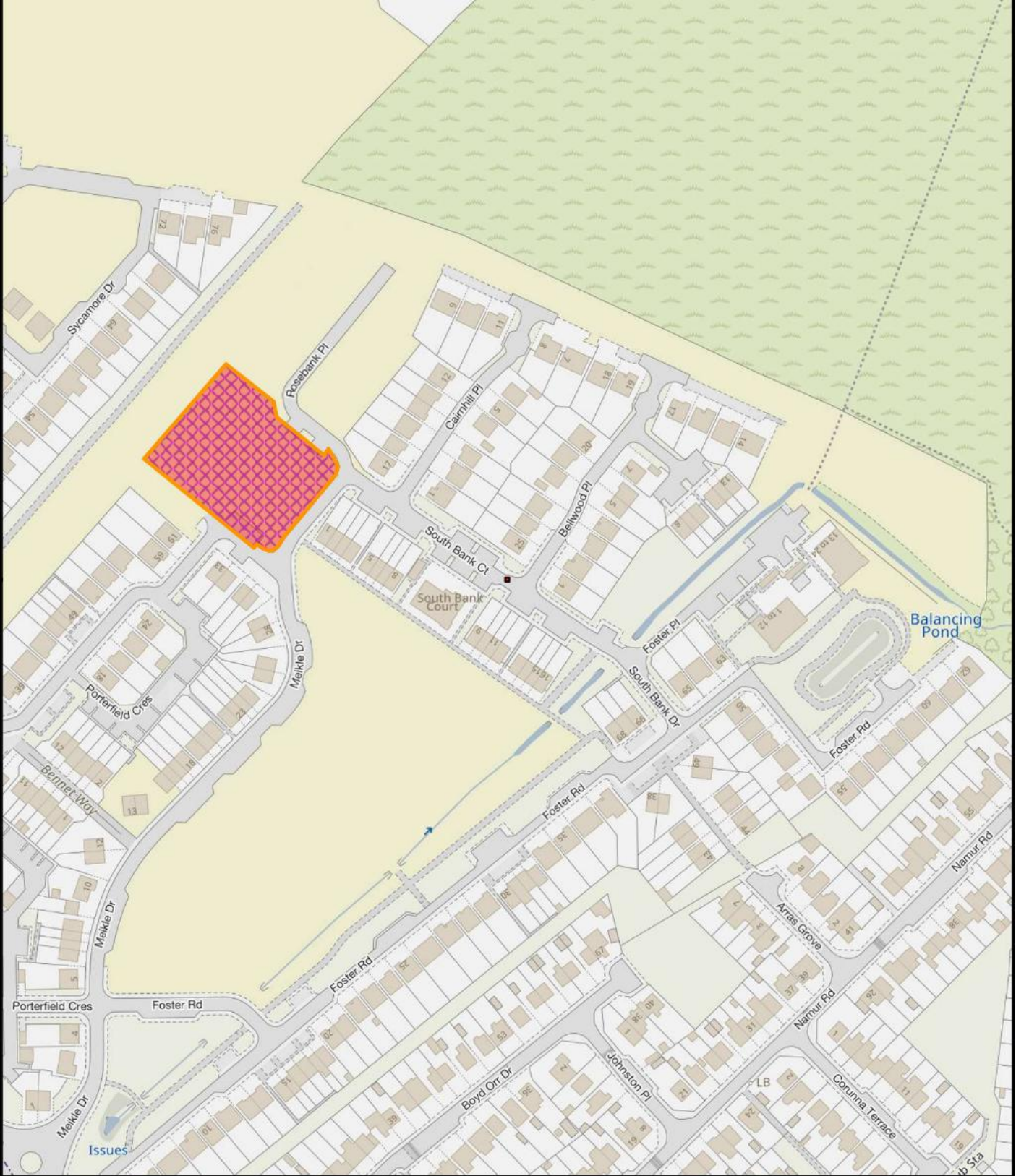
Validation Date: 4 May 2023

Contact Person: Mhairi-Anne Cowie, Planning Officer

Email: mhairi-anne.cowie@midlothian.gov.uk

Background Papers: Planning applications 12/00745/DPP and 22/00673/DPP

Attached Plans: Location plan, site plan and elevations.



**Education, Economy
& Communities**
Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
EH22 3AA

Erection of care home and associated works Land at Greenlaw Mains, Penicuik

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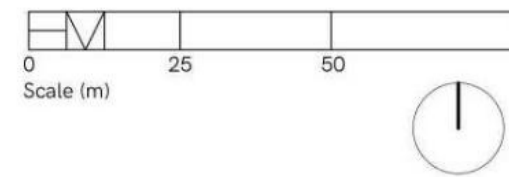
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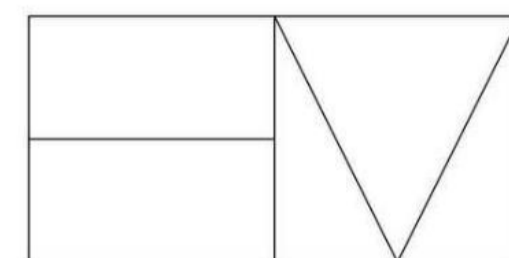


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APPLICATION BOUNDARY



P01 First Issue OM MH 05.08.22
 Rev Notes Drawn Appr Date



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 G3 8LE
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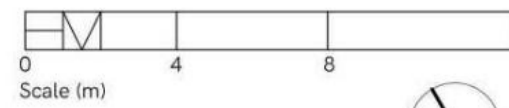
Project 5066
Greenlaw Mains, Penicuik

Drawing Name
 Location Plan

Scale @ A1 1: 1250
Checked MH
Revision P01

Drawing Number
 5066-HML-ZZ-ZZ-D-A-10001

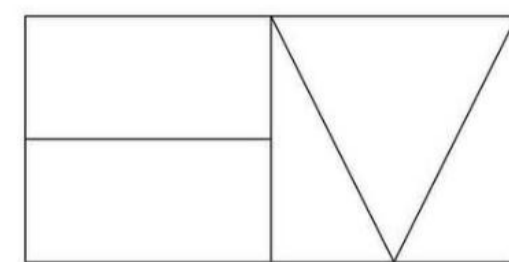
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- APPLICATION BOUNDARY
- PROPOSED GRASS AREA
- SHRUB PLANTING - SPECIES TBC
- PROPOSED HEDGING
- PROPOSED TREE
- PAVING SLABS - COLOUR BUFF
- MULTI-SIZED TEGULA PAVING
- BLOCK PAVING
- WOODEN BENCH
- RAISED PLANTER
- SPRINKLER TANK
- MESH FENCE 1.1M HIGH
- VERTICAL TIMBER PLANK FENCE 1.8M HIGH
- EV CHARGING BAY
- EXISTING UNALLOCATED VISITOR PARKING SPACE
- BOLLARD LIGHT
- 5m LIGHTING POLE

Rev	Notes	Appr	Date
P10	ASHP Reference Removed, sheet re-plotted	NM	DJ 01.09.23
P09	Scale Bar Updated	NM	DJ 17.08.23
P08	ASHPs Removed, retaining wall layout revised	NM	MH 02.06.23
P07	Retaining wall annotated	IR	DJ 09.05.23
P06	Retaining wall layouts revised, bike store repositioned	NM	DJ 19.04.23
P05	Retaining wall added at parking bays	NM	DJ 14.04.23
P04	amended for revised layouts, site context added, entrance landscaping revised	NM	DJ 29.03.23
P03	Site plan updated, ASHP added.	NM	DJ 17.03.23
P02	Surrounding context updated & increased area shown. FFLs updated. Additional parking provided. Residents garden updated. Layout provided	MH	DJ 27.10.22
P01	FIRST ISSUE	DJ	MH 07.09.22



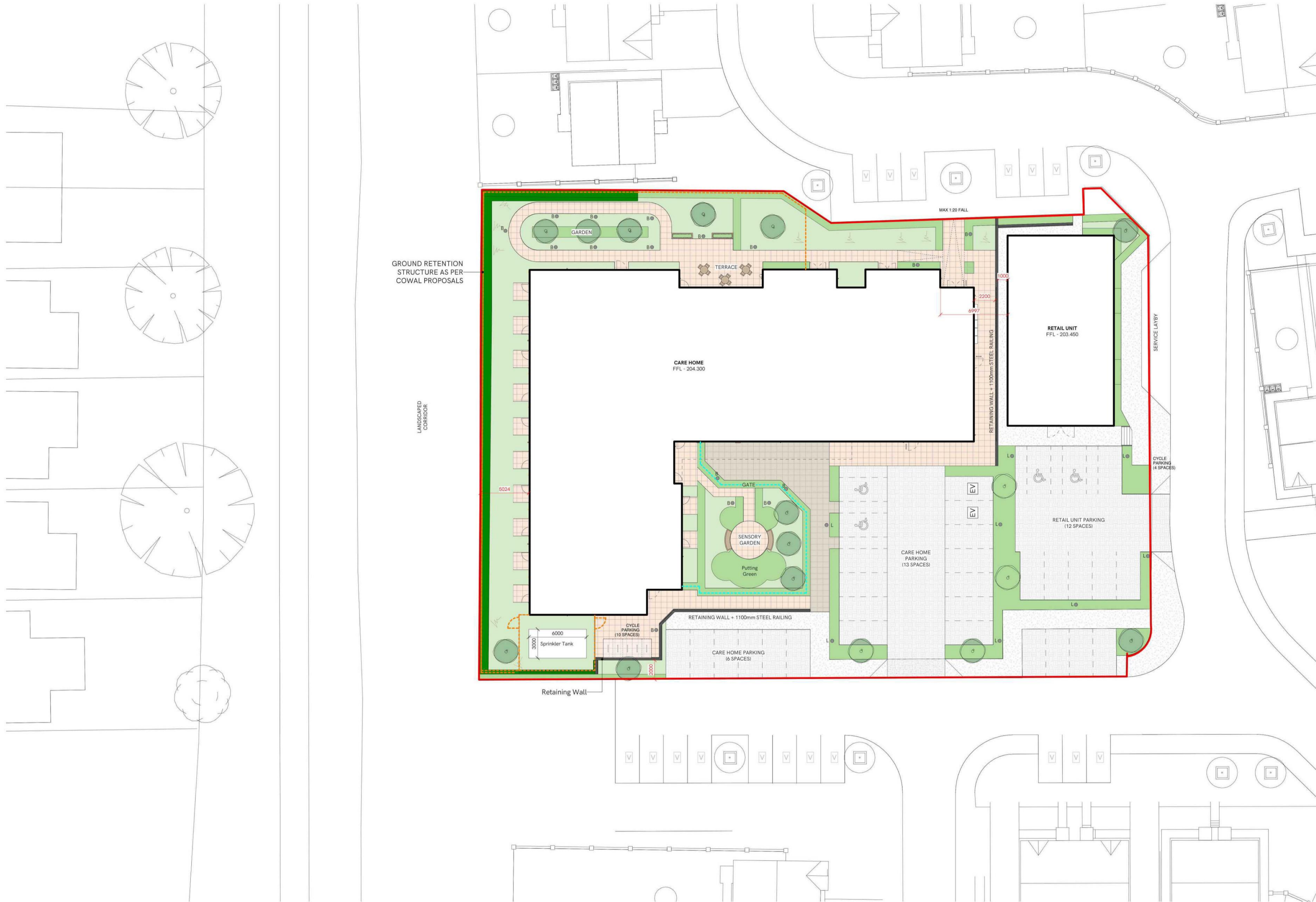
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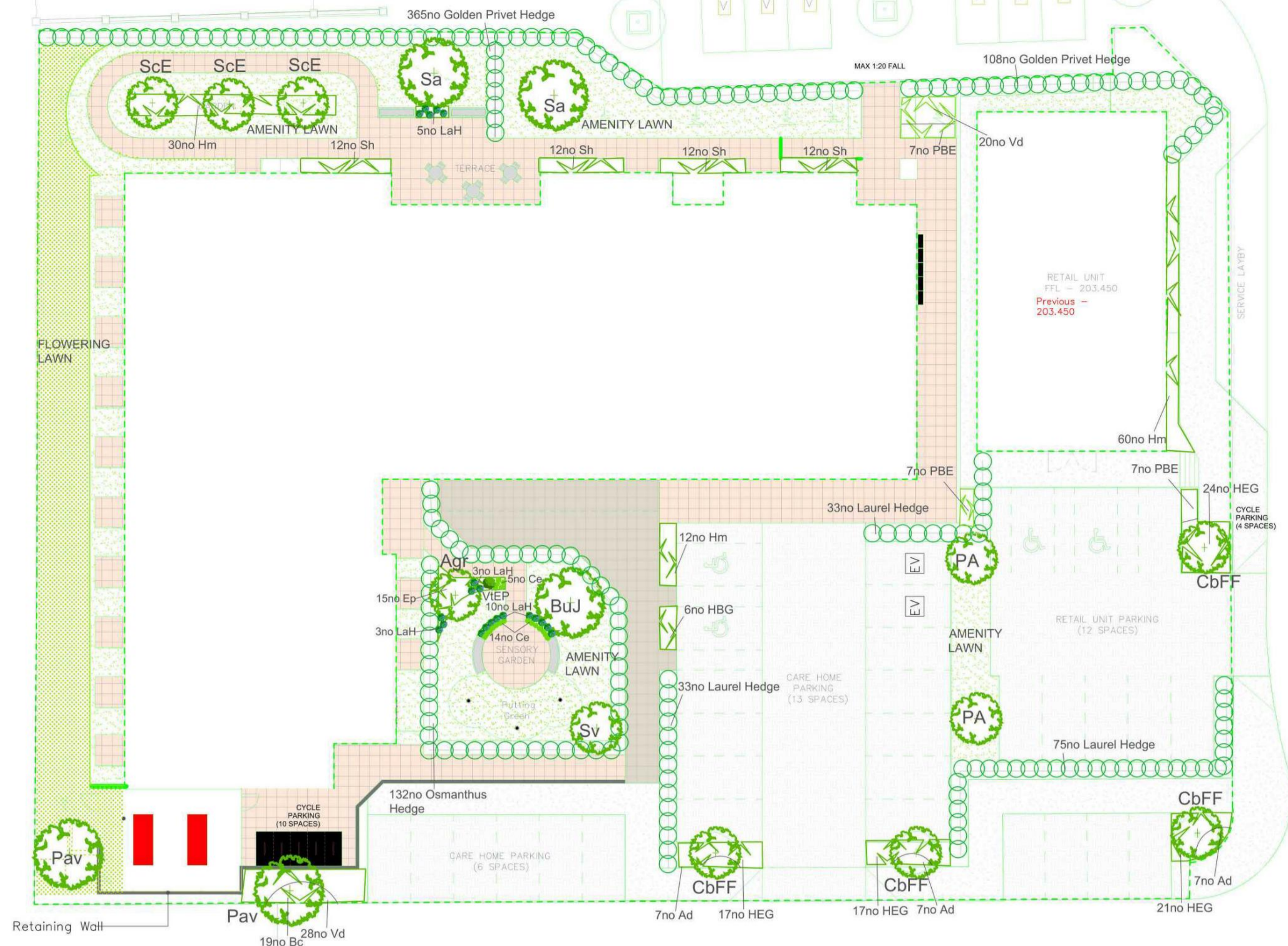
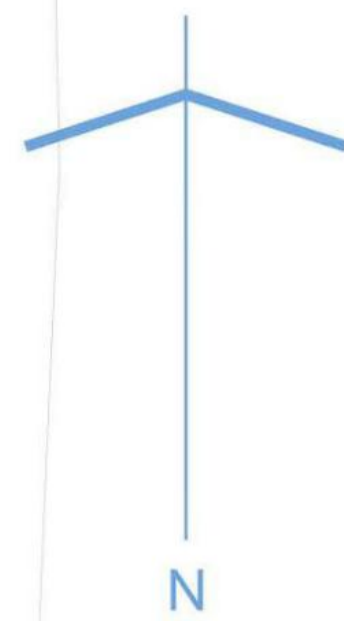
Project 5066
**Greenlaw Mains, Penicuik
 Care Home and Retail**

Drawing Name
Proposed Site Plan

Scale @ A1 As indicated
Checked DJ
Revision P10

Drawing Number
 5066-HML-ZZ-ZZ-D-A-10100





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PLANTING SCHEDULE

CARE SHOULD BE TAKEN TO ENSURE THAT ALL TREES ARE PLANTED A MINIMUM OF 1M AWAY FROM ALL FOOTPATHS AND SERVICE STRIPS.

Where possible, plants which are particularly attractive to bees have been used.

PROPOSED TREES

Agr	Acer griseum (Paper barked maple)	1no
BuJ	Betula utilis 'Jacquemontii' (White Birch)	1no
CbFF	Carpinus betulus 'Frans Fontaine' (Fastigate Hornbeam)	4no
PA	Prunus amargawa (Flag pole cherry)	2no
Pav	Prunus avium(Bird cherry)	2no
Sa	Sorbus aria (Rowan)	4no
ScE	Sorbus commixta ' Embley' (Chinese Rowan)	3no
Sv	Sorbus vilmorinii (Rowan)	1no

All of the above trees to be Heavy Standard size (12 to 14cm girth) double short-staked and root balled. Where trees are planted into turf, an area 1m dia, at the base of the tree, should be mounded and kept clear of weeds and grass and other deleterious material.

PROPOSED HERBACIOUS PERENNIALS

Ad	Aster dumosus	20 to 30cm 3L	5/m2	21no
Bc	Bergenia cordifolia	30 to 40cm 3L	4/m2	19no
Ce	Carex evergold	20 to 30cm 3L	as spec	14no
Ep	Epimedium pinnatum	30 to 40cm 3L	4/m2	15no
PBE	Pulmonaria 'Blue Ensign'	30 to 40cm 3L	5/m2	21no

PROPOSED SHRUBS

LaH	Lavandula angustifolia 'Hidcote'	7.5L as spec		21no
HBG	Hebe 'Blue Gem'	30 to 40cm 5L	4/m2	6no
HEG	Hebe 'Emerald Globe'	30 to 40cm 5L	4/m2	79no
Hm	Hydrangea macrophylla	30 to 40cm 5L	3/m2	102no
Sh	Sarcococca humilis	30 to 40cm 3L	4/m2	48no
Vd	Viburnum davidii	30 to 40cm 3L	4/m2	48no
VIEP	Viburnum tinus 'Eve Price'	15L as spec.		1no

LAUREL HEDGE

Prunus lusitanica	60 to 80cm 5L	135no
-------------------	---------------	-------

Hedge to be planted in one row, evenly spaced, at 300mm centres. To be trimmed immediately to an even hedge line.

OSMANTHUS HEDGE

Osmanthus burkwoodii	30 to 50cm 5L	132no
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Hedge to be planted in one row, evenly spaced, at 300mm centres. To be trimmed immediately to an even hedge line.

GOLDEN PRIVET HEDGE

Ligustrum ovalifolium 'Aureum'	80 to 100cm 2L	473no
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Hedge to be planted staggered row at 6 per linear metre. To be trimmed immediately to an even hedge line.

AMENITY GRASS MIX

British Seed Houses A19 (Lawns and Landscaping) available from: <http://www.bshamenity.com>

FLOWERING LAWN MIX

available from: <http://www.scotiaseeds.com>

PLANTING SPECIFICATION

GRASS MIX

- The grassed area to be carefully checked to ensure that the soil is appropriate and it is free from rubble, stones, weeds and other deleterious material. If it does not it should be replaced with the appropriate quality material or the landscape architect advised.
(Note: It is the responsibility of the contractor to ensure that he is planting in the correct quality of material)
- Where topsoil is to be added the subsoil should be fully broken up to ensure adequate drainage and a layer not less than 150mm deep applied.
- The topsoil should be cultivated to a fine, even tilth with no undulations or bumps.
- All grass area to be turfed or seeded in accordance with guide-lines set out in BS 4428: Code of Practice for general landscape operations; 1989.
- Flowering Lawn areas to be sown in late Autumn as per manufacturers instructions.

SHRUBS

- The whole planting bed to be carefully set out and the soil checked to ensure that it meets the standards set out in BS 3882: 2007. If it does not it should be replaced with the appropriate quality material or the landscape architect advised.
(Note: It is the responsibility of the contractor to ensure that he is planting in the correct quality of material)
- If new topsoil is required the subsoil base should be fully broken up to ensure adequate drainage.
- Planters and troughs to be filled with suitable drainage at the base and soil for permanent planting such as John Innes no 3 or similar approved.
- The bed should be inspected after the subsoil base is broken up and before topsoil cultivation for any signs of flooding. If there are signs and these cannot be resolved the landscape architect should be advised.
(Note: It is the responsibility of the contractor to ensure that he is not planting in a waterlogged bed)
- Planting should not be undertaken below 2 degrees centigrade or when the ground is snow covered or frozen.

- The topsoil should be cultivated throughout the bed to a depth of 300mm. It should be left with a central ridge 150mm above the edges of the bed.
- When then bed has been fully cultivated and formed, the planting holes shall be dug 150mm wider than the root spread. Bare-root plants shall have the roots carefully teased out and pot-grown plants shall have the roots carefully loosened from the soil. 2 to 2.5litres, depending on the size of the plant, of Fison's Peat-Free Planting Compost or similar approved shall be worked into the backfill. The plants shall be planted so that the finished topsoil level is at the nursery level on the stem of the plant.
- The plants shall be well firmed in and, after planting, a slow acting fertiliser shall be carefully worked into the top 50mm of soil round each plant taking care to avoid contact with the stem.
- Immediately after planting the whole bed shall be well watered in.
- All work shall be carried out in accordance with best horticultural practice.

TREES

- Trees shall be planted at the appropriate season depending on root-grown or bare-root.
- Tree pits to be dug not less than 1m cube and not smaller than 250mm larger than the overall root spread. Care to be taken to ensure that all sides are permeable and have not been "polished" and that all pits are free draining with 50mm of washed round pea gravel to the base of the tree pits.
- A pressure-treated timber stake 75 x 75mm shall be used. It shall extend 500mm above the finished soil level, with a proprietary tie set 100mm below the top of the stake.
- One tie shall be used on standard and feathered trees up to 2m high. Two will be required for Heavy and Extra-Heavy Standard trees up to 18cm girth. Above this three will be required unless an underground guying system is used.
- Backfill for the tree pits to be 20% Peat-free Compost, Fison's or similar approved.
- The backfill to be a raised mound at the top with the centre 150mm above the edges. Care to be taken to ensure that the finished backfill level is at the nursery level on the tree and that level is at the centre of the mound 150mm above the edges of the pit when the tree has been well firmed in.
- On completion of the planting the tree shall be well watered in with not less than 10gallons of water. Thereafter it should be watered as required, following periods of any more than three consecutive hot, dry days, until the tree is fully established.

HEDGES

- Hedge planting should be as for the shrubs, set out above. However, the planting bed should be established by using the line of the hedge as the length. After achieving the correct quality topsoil and, with the base broken up, if topsoil is imported, the soil shall be cultivated to ensure a ridge, into which the hedge is planted, set 150mm above the edge of the bed.
- Thereafter all of the above, fertiliser shall be applied and the hedge well watered in.
- After planting the hedge should be trimmed back to an even line, to encourage growth, with the amount of trimming depending on species.

MAINTENANCE

The developer will ensure, within the missives, that purchasers are responsible for common areas. On completion of the site, a Factor will be appointed who will assist in the establishment of a Residents' Association. The Residents' Association will thereafter ensure that the Factor organises the following maintenance regime:

- Grass:**
- Fine grass cut 16 times per year.
- Flowering lawn to be cut in April and left to grow in May June and July. Cut two weekly thereafter until the end of the growing season. Allow for 6 cuts a year.

- Shrubs:**
- The objective is to provide a full even cover and prevent overcrowding. To that end the site should be inspected once per year by a suitably qualified horticulturalist and the following regime followed:
- The shrub beds shall be kept clear of weeds, either mechanically or by using an approved herbicide.
 - Shrubs shall be pruned up to twice per year, in Spring and Autumn depending on the species, to maintain their natural shape and habit. Any damaged diseased or broken branches should be removed.
 - In the first five years all dead and dying shrubs should be replaced by shrubs of similar size and species to those originally planted
 - From the second year beds should be inspected and thinned out where appropriate. Where suitable, these shrubs can be used to fill gaps in the planting area. Otherwise gaps should be infilled with appropriate new plants as for 'e' above.
 - After 10 years a systematic programme of replacement should be established.

- Trees:**
- Trees have been chosen for their appropriateness to their individual location. Pruning, other than for health and safety reasons, should not be necessary. They should, however, be inspected by a suitably qualified arboriculturalist annually.
- An area 1m diameter at the base of the trees shall be kept clear of weed and grass either mechanically or by using an approved herbicide.
 - Tree stakes and ties should be inspected 3 times per year (Autumn, Winter and Spring).
 - All dead and diseased branches, or those broken due to malicious action or wind damage should be cleanly removed and the scar cleaned up.
 - All trees which have been removed or which are found to be dying, severely diseased or damaged will be replaced by trees of similar size and species to those originally planted. These should be replaced as soon as seasonal weather conditions allow.

- Garden hedges:**
- The objective is to produce a thick, healthy, impenetrable hedge. Pruning should be undertaken where necessary to achieve a neat and compact finish.
- Hedges to be pruned back to an even hedge line to encourage thickening twice within the first growing season after planting and twice a year thereafter.

Herbaceous Planting:

- The flowers on the herbaceous plants to be cut back after flowering annually
- Leaf die back to be removed annually, in March prior to regrowth.
- Plants should be divided every three years to rejuvenate. Additional planting occurring from this can be used elsewhere on site at an agreed location.

- Hardsurface:**
- Six visits per year to remove weeds from shrub beds and between pavements and within other hard standing areas. All weeds to be removed from the site. Where herbicides are used extreme care should be taken to avoid damage to surrounding grass and avoid spray drift.

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Drawing: **LANDSCAPE PROPOSAL**

Jobs: **GREENLAWMAINS CARE HOME**

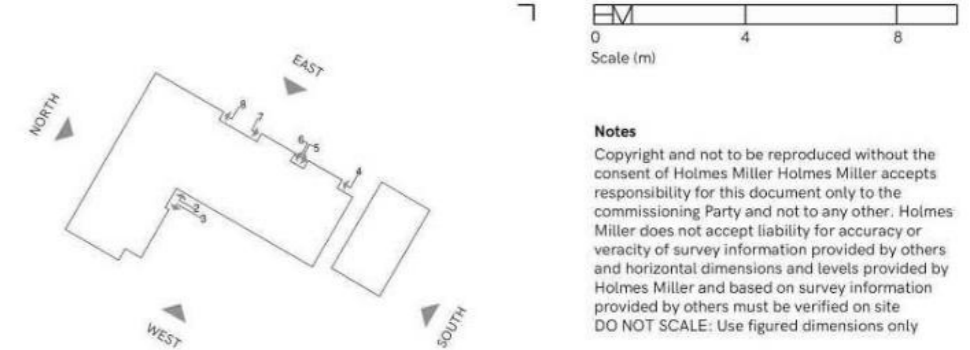
Client: **CCG**

No: **660.02.01**

Date: Apr 2023 Scale: 1:200 Drawn: JS Checked: AM

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 - ③ GLASS BALUSTRADE
 - ④ SOLAR SHADING LOUVRES
 - ⑤ ACOUSTIC TIMBER FENCE
 - ⑥ RETAINING WALL
 - ⑦ CONCRETE ROOF TILES - DARK GREY COLOUR
 - ⑧ DARK GREY SINGLE PLY MEMBRANE
 - ⑨ DARK GREY PPC ALUMINIUM PARAPET
 - ⑩ DARK GREY STEEL DOOR
 - ⑪ BIRD/BAT BOX

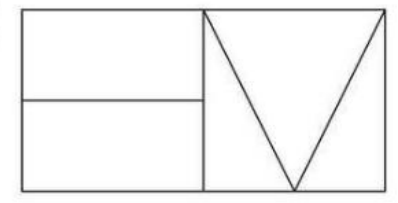


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EL - EXTERNAL LIGHT



PD4	Inner Elevations added	IR	DJ	02/05/23	
PD3	Layouts updated for resubmission for planning	NM	DJ	29.03.23	
PD2	Elevations revised, ASHP added, Solar shading added	NM	DJ	17.03.23	
PD1	FIRST ISSUE	DJ	MH	07.09.22	
Rev	Notes		Drawn	Appr	Date



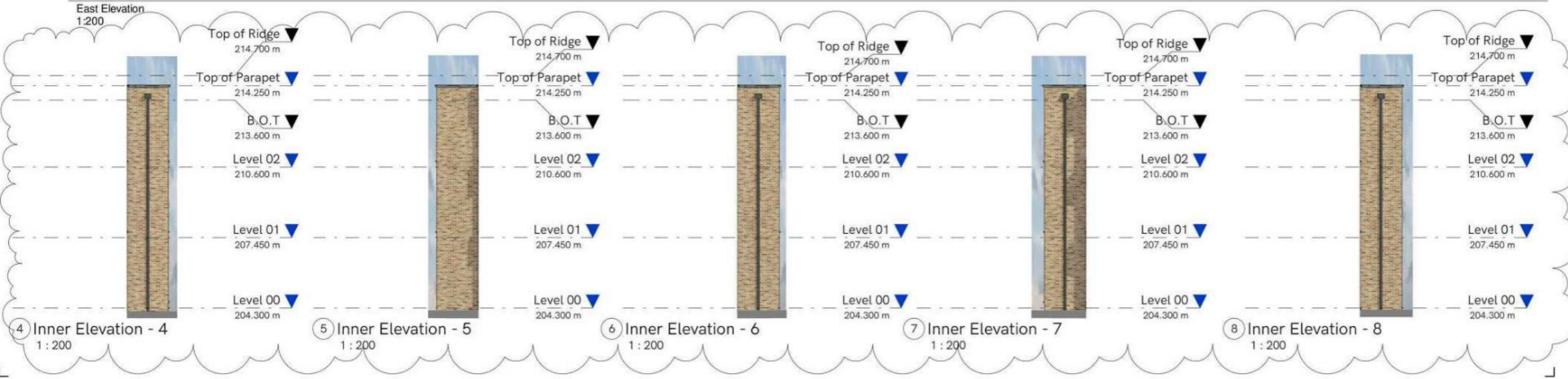
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Project 5066
**Greenlaw Mains, Penicuik
 Care Home and Retail**

Drawing Name
 Proposed East Elevation

Scale @A3	Checked	Revision
As indicated	DJ	P04

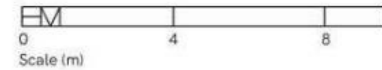
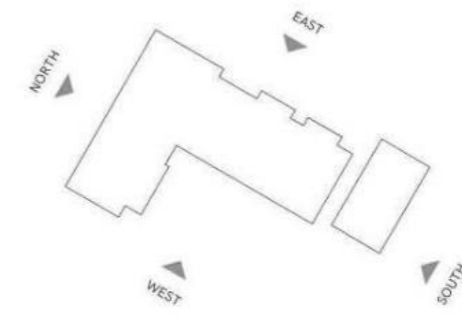
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 - ⑦ CONCRETE ROOF TILES - DARK GREY COLOUR
 - ⑧ DARK GREY SINGLE PLY MEMBRANE
 - ⑨ DARK GREY PPC ALUMINIUM PARAPET
 - ⑩ DARK GREY STEEL DOOR
 - ⑪ BIRD/BAT BOX

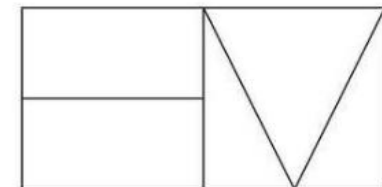


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North Elevation
 1:200

P03	Layouts updated for resubmission for planning	NM	DJ	29.03.23
P02	Elevations revised, ASHP added, Solar shading added	NM	DJ	17.03.23
P01	FIRST ISSUE	DJ	NH	07.09.22
Rev	Notes	Drawn	Appr	Date



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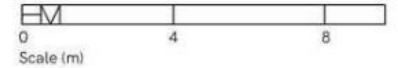
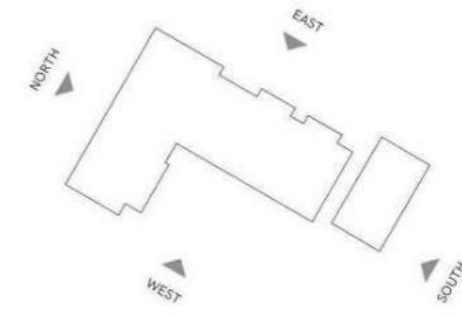
Drawing Name
 Proposed North Elevation

Scale @A3	Checked	Revision
1 : 1500	DJ	P03

Drawing Number
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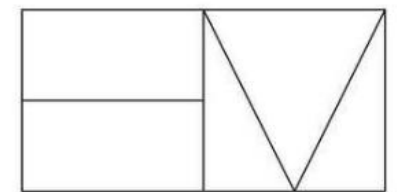
EL
 ● - EXTERNAL LIGHT



- Top of Ridge ▼ 214.700 m
- Top of Parapet ▼ 214.250 m
- Level 02 ▼ 210.600 m
- Level 01 ▼ 207.450 m
- Level 00 ▼ 203.450 m
- Level B1 ▼ 203.450 m

APPROXIMATE LOCATION FOR CONDENSERS. TO BE WALL MOUNTED PER M&E ENG DESIGN. REFER TO M&E ENGINEER'S INFORMATION FOR FURTHER INFORMATION ON CONDENSERS.

PD4	Ground levels updated	NM	DJ	14.04.23
PD3	Layouts updated for resubmission for planning	NM	DJ	29.03.23
PD2	Elevations revised, ASHP added, Solar shading added	NM	DJ	17.03.23
PD1	FIRST ISSUE	DJ	MH	07.09.22
Rev	Notes	Drawn	Appr	Date



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Drawing Name
 Proposed South Elevation -
 Care Home

Scale @A3	Checked	Revision
As indicated	DJ	P04

Drawing Number
 5066-HML-ZZ-ZZ-D-A-10303

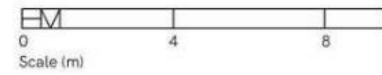
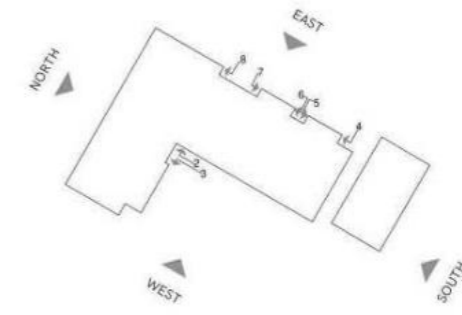
South Elevation - Care Home
 1:200

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EXTERNAL FINISHES KEY

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- ③ GLASS BALUSTRADE
- ④ SOLAR SHADING LOUVRES
- ⑤ ACOUSTIC TIMBER FENCE
- ⑥ RETAINING WALL
- ⑦ CONCRETE ROOF TILES - DARK GREY COLOUR
- ⑧ DARK GREY SINGLE PLY MEMBRANE
- ⑨ DARK GREY PPC ALUMINIUM PARAPET
- ⑩ DARK GREY STEEL DOOR
- ⑪ BIRD/BAT BOX



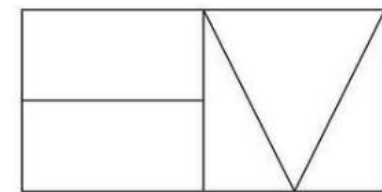
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EL
 ● - EXTERNAL LIGHT



- Top of Ridge ▼ 214.700 m
- Top of Parapet ▼ 214.250 m
- Level 02 ▼ 210.600 m
- Level 01 ▼ 207.450 m
- Level 00 ▼ 203.450 m
- Level B1 ▼ 203.450 m

Rev	Notes	Drawn	Appr	Date
P05	Inner Elevations added	IR	DJ	02/05/23
P04	Ground levels updated, entrance updated, retail unit signage updated	NM	DJ	14.04.23
P03	Layouts updated for resubmission for planning	NM	DJ	29.03.23
P02	Elevations revised, ASHP added, Solar shading added	NM	DJ	17.03.23
P01	FIRST ISSUE	DJ	MH	07.09.22



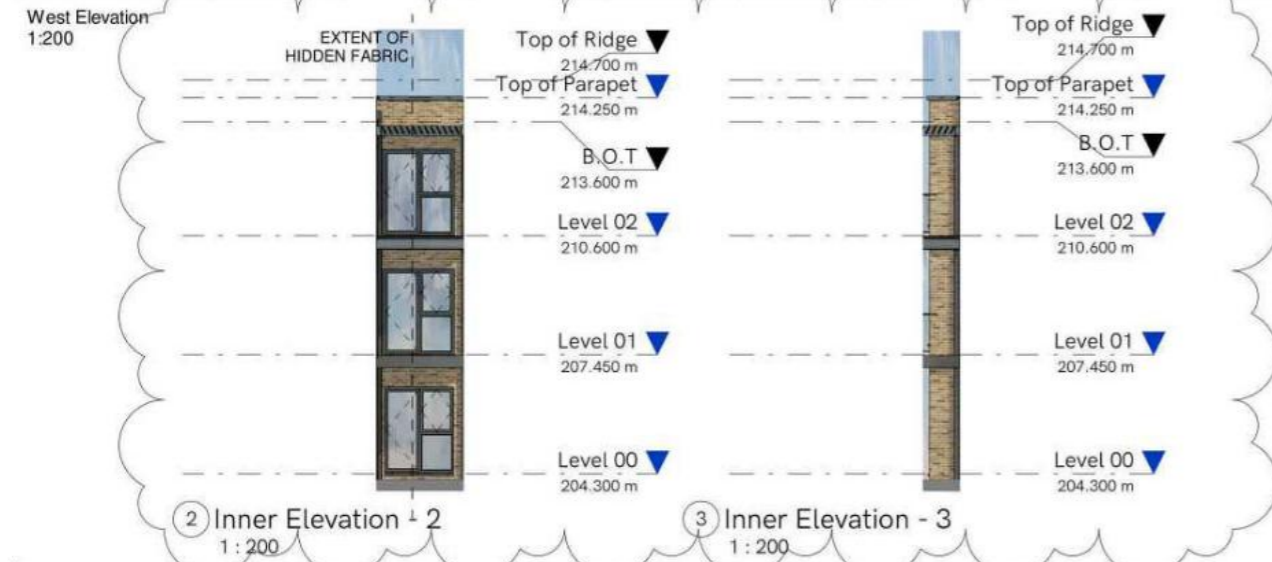
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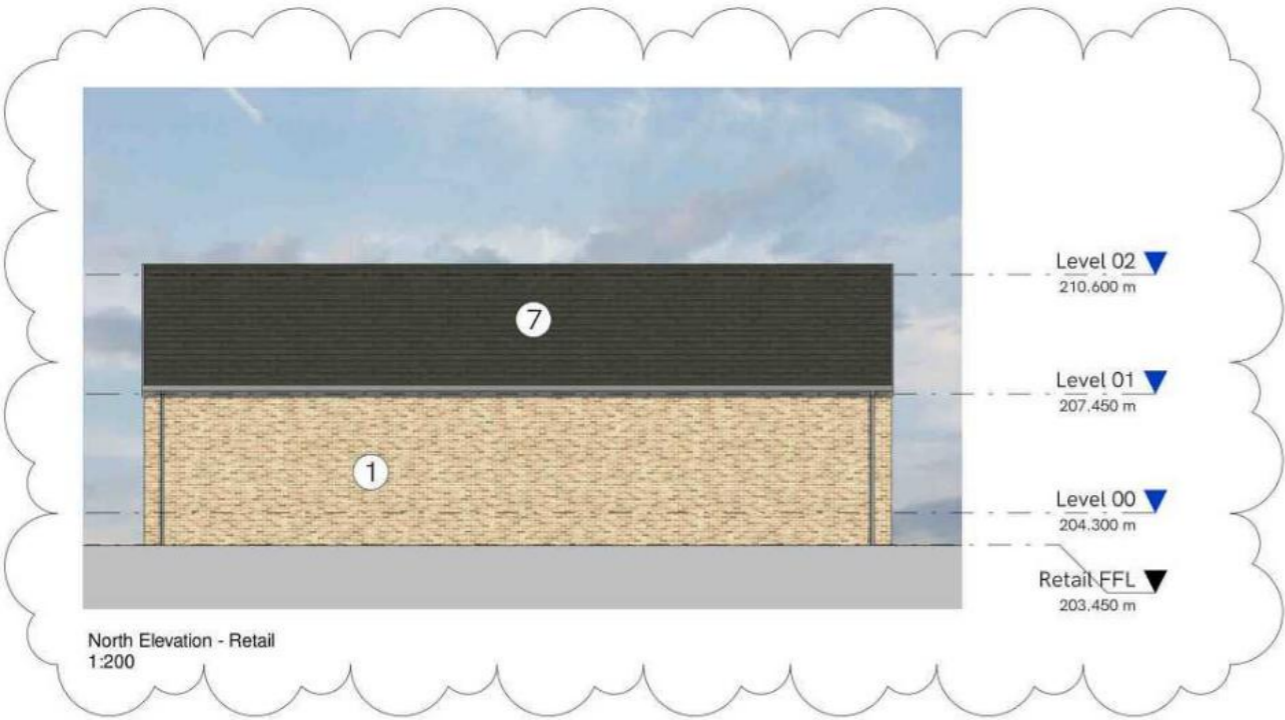
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Drawing Name
 Proposed West Elevation

Scale @A3	Checked	Revision
As indicated	DJ	P05

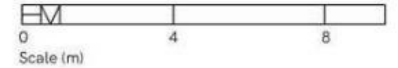
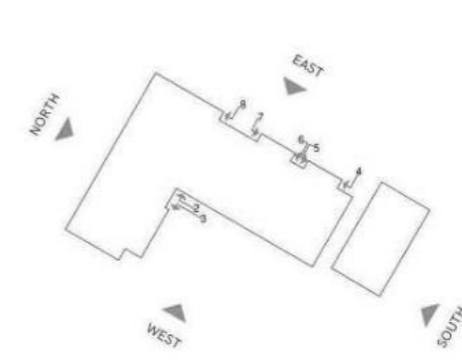
Drawing Number
 5066-HML-ZZ-ZZ-D-A-10300





North Elevation - Retail
1:200

- EXTERNAL FINISHES KEY**
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 - ③ GLASS BALUSTRADE
 - ④ SOLAR SHADING LOUVRES
 - ⑤ ACOUSTIC TIMBER FENCE
 - ⑥ RETAINING WALL
 - ⑦ CONCRETE ROOF TILES - DARK GREY COLOUR
 - ⑧ DARK GREY SINGLE PLY MEMBRANE
 - ⑨ DARK GREY PPC ALUMINIUM PARAPET
 - ⑩ DARK GREY STEEL DOOR
 - ⑪ BIRD/BAT BOX



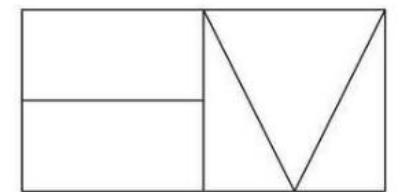
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South Elevation - Retail
1:200

P03	Retail North Elevation Added. Retail downpipes Added.	JM	DJ	02/05/23
P02	Drawing revised	NM	DJ	14.04.23
P01	FIRST ISSUE	DJ	MH	07.09.22
Rev	Notes	Drawn	Appr	Date



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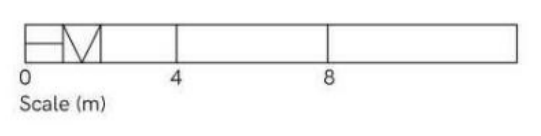
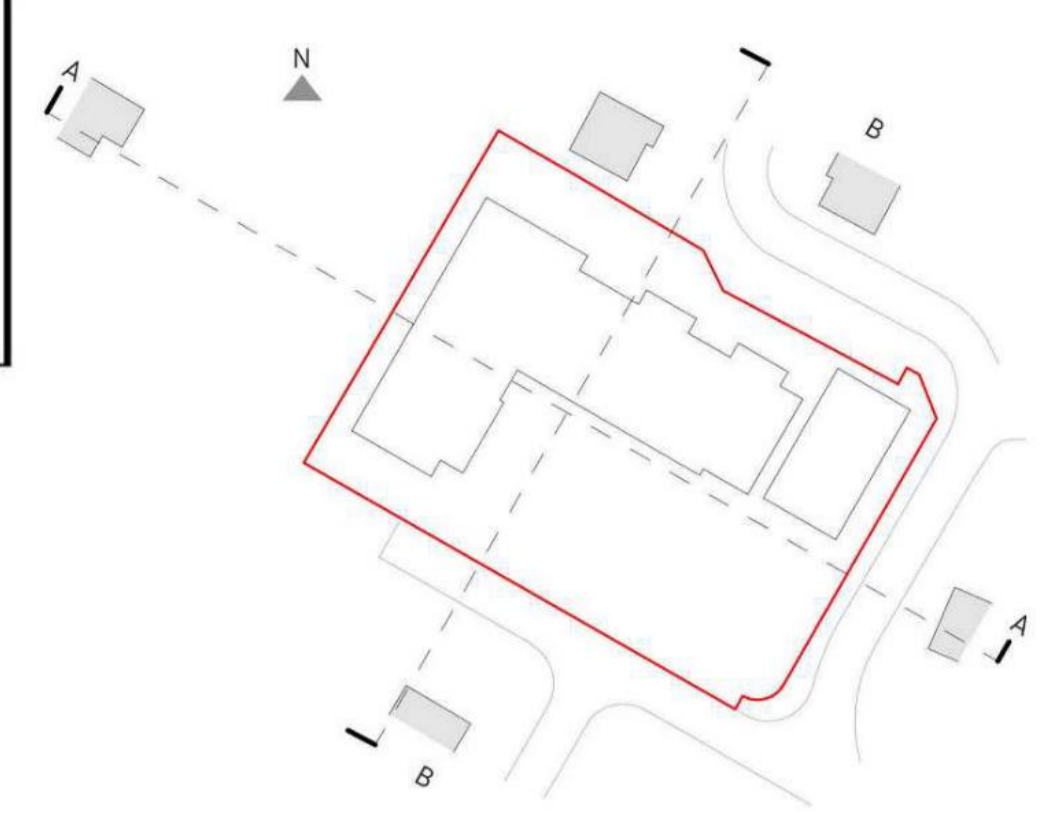
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Drawing Name
Proposed North and South
Elevations - Retail

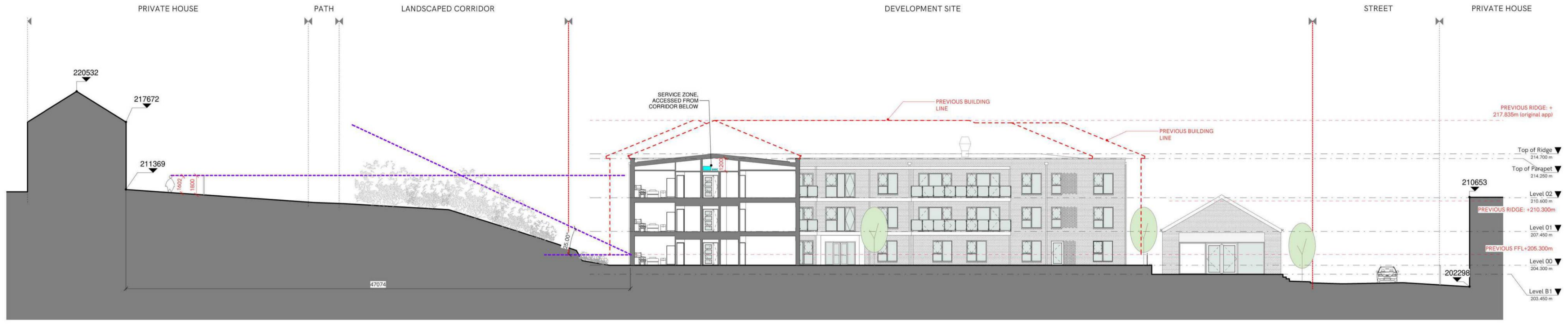
Scale @A3	Checked	Revision
As indicated	DJ	P03

Drawing Number
5066-HML-ZZ-ZZ-D-A-10304

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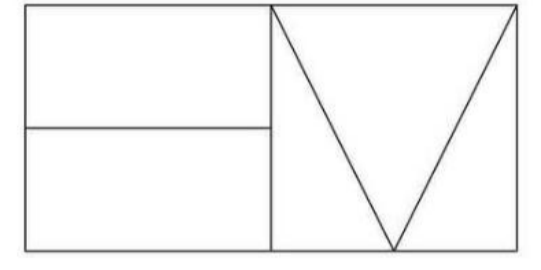


3 Site Section A-A
1:200



4 Street section B-B
1:200

Rev	Notes	Drawn	Appr	Date
P03	Sections updated following revisions to layouts	NM	DJ	28.03.23
P02	Ridge levels updated. Daylight analysis noted on Section B-B. Topography updated. Retail unit updated. Extent of section cuts extended & neighbouring housing levels indicated	MH	DJ	27.10.22
P01	First Issue	OM	MH	25.08.22



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Drawing Name
 Proposed Site Sections

Scale @ A1	Checked	Revision
As indicated	DJ	P03

Drawing Number
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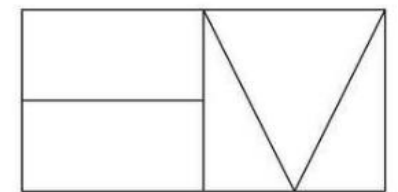
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P02	Updated to align with latest layouts	NM	DJ	14.04.23
P01	FIRST ISSUE	DJ	NH	07.09.22
Rev	Notes	Drawn	Appr	Date



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Drawing Name
 3D View Looking North

Scale @A3	Checked	Revision
1 : 20	DJ	P02

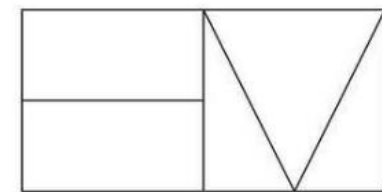
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P03	Updated to align with latest layouts	NM	DJ	14.04.23
P02	Care home ridge & FFL level lowered. Retail FFL raised. Retention between care home & retail reduced. Landscaping updated	MH	DJ	27.10.22
P01	FIRST ISSUE	DJ	MH	07.09.22
Rev	Notes	Drawn	Appr	Date



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Drawing Name
 3D View Looking West

Scale @A3	Checked	Revision
1 : 20	DJ	P03

Drawing Number
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