

Notice of Review: White Cottage, Gladhouse Reservoir, Temple

Determination Report

Report by Chief Officer Place

1 Purpose of Report

- 1.1 The purpose of this report is to provide a framework for the Local Review Body (LRB) to consider a 'Notice of Review' for alterations to dwellinghouse to increase roof height of White Cottage, Gladhouse Reservoir, Temple.

2 Background

- 2.1 Planning application 21/00467/DPP for alterations to dwellinghouse to increase roof height of White Cottage, Gladhouse Reservoir, Temple was refused planning permission on 5 August 2022; a copy of the decision is attached to this report.
- 2.2 The review has progressed through the following stages:
- 1 Submission of Notice of Review by the applicant.
 - 2 The Registration and Acknowledgement of the Notice of Review.
 - 3 Carrying out Notification and Consultation.

3 Supporting Documents

- 3.1 Attached to this report are the following documents:
- A site location plan (Appendix A);
 - A copy of the notice of review form and supporting statement (Appendix B). Any duplication of information is not attached;
 - A copy of the case officer's report (Appendix C);
 - A copy of the decision notice, excluding the standard advisory notes, issued on 5 August 2022 (Appendix D); and
 - A copy of the key plans/drawings (Appendix E).
- 3.2 The full planning application case file and the development plan policies referred to in the case officer's report can be viewed online via www.midlothian.gov.uk

4 Procedures

- 4.1 In accordance with agreed procedures:

- Have determined to consider a visual presentation of the site and undertaking a site visit (elected members not attending the site visit can still participate in the determination of the review); and
 - Have determined to progress the review by written submissions.
- 4.2 The case officer's report identified that there was one consultation response and one representation received. As part of the review process the interested parties were notified of the review. No additional comments have been received. All comments can be viewed online on the electronic planning application case file.
- 4.3 The next stage in the process is for the LRB to determine the review in accordance with the agreed procedure:
- Identify any provisions of the development plan which are relevant to the decision;
 - Interpret them carefully, looking at the aims and objectives of the plan as well as detailed wording of policies;
 - Consider whether or not the proposal accords with the development plan;
 - Identify and consider relevant material considerations for and against the proposal;
 - Assess whether these considerations warrant a departure from the development plan; and
 - State the reason/s for the decision and state any conditions required if planning permission is granted.
- 4.4 In reaching a decision on the case the planning advisor can advise on appropriate phraseology and on appropriate planning reasons for reaching a decision.
- 4.5 Following the determination of the review the planning advisor will prepare a decision notice for issuing through the Chair of the LRB. A copy of the decision notice will be reported back to the LRB for noting.
- 4.6 A copy of the LRB decision will be placed on the planning authority's planning register and made available for inspection online.

5 Conditions

- 5.1 In accordance with the procedures agreed by the LRB at its meeting of 20 June 2022, and without prejudice to the determination of the review, the following conditions have been prepared for the consideration of the LRB if it is minded to uphold the review and grant planning permission.
1. Details of the colour of the frames of the new windows at ground floor level shall be submitted to the planning authority and the windows shall not be installed until this detail has been approved in writing by the planning authority.
 2. The new windows at ground floor level on the existing building shall be installed within two months of the first floor accommodation being completed or brought in to use whichever is the earlier date.

Reason for conditions 1 and 2: To safeguard the appearance of the building as altered and the visual amenity of the surrounding area.

3. Details of the external appearance and dimensions of the proposed air source heat pump shall be submitted to the planning authority and the air source heat pump shall not be installed until these details have been approved in writing by the planning authority.

Reason: For the avoidance of doubt as to what is approved, no details having been provided as part of the application submission.

4. Any noise associated with the air source heat pump shall comply with the product and installation standards for air source heat pumps specified in the Micro-generation Certification Scheme MCS 020(a).

Reason: To protect the residential amenity of surrounding properties.

5. Development shall not begin until a bat survey has been carried out by a suitably qualified ecologist and any mitigation measures identified implemented in accordance with details to be submitted to and approved in writing by the planning authority. Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be approved in writing with the planning authority.

Reason: To ensure the development accords with the requirements of policy DEV5 of the Proposed Midlothian Local Development Plan 2017.

6 Recommendations

- 6.1 It is recommended that the LRB:
 - a) determine the review; and
 - b) the planning advisor draft and issue the decision of the LRB through the Chair

Peter Arnsdorf
Planning, Sustainable Growth and Investment Manager

Date: 16 September 2022
Report Contact: Ingrid Forteath, Planning Officer
ingrid.forteath@midlothian.gov.uk

Background Papers: Planning application 21/00467/DPP available for inspection online.



**Education, Economy
& Communities**
Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
EH22 3AA

Alterations to increase roof height White Cottage, Gladhouse Reservoir, Temple

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File No.22/00467/DPP

Scale: 1:1,250





Fairfield House 8 Lothian Road Dalkeith EH22 3ZN Tel: 0131 271 3302 Fax: 0131 271 3537 Email: planning-applications@midlothian.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100577466-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

| | | | |
|-----------------------|--|--|---|
| Company/Organisation: | <input type="text" value="John Gilbert Architects"/> | | |
| Ref. Number: | <input type="text"/> | You must enter a Building Name or Number, or both: * | |
| First Name: * | <input type="text" value="John Gilbert"/> | Building Name: | <input type="text" value="The White Studios"/> |
| Last Name: * | <input type="text" value="Architects"/> | Building Number: | <input type="text" value="201"/> |
| Telephone Number: * | <input type="text" value="01415518383"/> | Address 1 (Street): * | <input type="text" value="Templeton-on-the-Green"/> |
| Extension Number: | <input type="text"/> | Address 2: | <input type="text"/> |
| Mobile Number: | <input type="text"/> | Town/City: * | <input type="text" value="Glasgow"/> |
| Fax Number: | <input type="text"/> | Country: * | <input type="text" value="Lanarkshire"/> |
| | | Postcode: * | <input type="text" value="G40 1DA"/> |
| Email Address: * | <input type="text" value="enquiries@johngilbert.co.uk"/> | | |

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

| | | |
|----------------------|---------------------------------------|--|
| Title: | <input type="text" value="Mr"/> | You must enter a Building Name or Number, or both: * |
| Other Title: | <input type="text"/> | Building Name: <input type="text" value="White Cottage"/> |
| First Name: * | <input type="text" value="Konrad"/> | Building Number: <input type="text"/> |
| Last Name: * | <input type="text" value="Rawlik"/> | Address 1 (Street): * <input type="text" value="White Cottage"/> |
| Company/Organisation | <input type="text"/> | Address 2: <input type="text" value="Gladhouse Reservoir"/> |
| Telephone Number: * | <input type="text"/> | Town/City: * <input type="text" value="near Gorebridge"/> |
| Extension Number: | <input type="text"/> | Country: * <input type="text" value="Scotland"/> |
| Mobile Number: | <input type="text"/> | Postcode: * <input type="text" value="EH23 4TA"/> |
| Fax Number: | <input type="text"/> | |
| Email Address: * | <input type="text" value="REDACTED"/> | |

Site Address Details

| | |
|---|---|
| Planning Authority: | <input type="text" value="Midlothian Council"/> |
| Full postal address of the site (including postcode where available): | |
| Address 1: | <input type="text"/> |
| Address 2: | <input type="text"/> |
| Address 3: | <input type="text"/> |
| Address 4: | <input type="text"/> |
| Address 5: | <input type="text"/> |
| Town/City/Settlement: | <input type="text"/> |
| Post Code: | <input type="text"/> |

Please identify/describe the location of the site or sites

White Cottage (north of Gladhouse Reservoir)

| | | | |
|----------|-------------------------------------|---------|-------------------------------------|
| Northing | <input type="text" value="654440"/> | Easting | <input type="text" value="330048"/> |
|----------|-------------------------------------|---------|-------------------------------------|

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Retrofit of the existing single storey White Cottage. Remove existing hipped roof and chimneys. Erect new timber stud first floor and roof with gables to create a new first floor. Ground floor build up replaced with insulated floor. Existing ground floor walls to have external wall insulation and new white render finish applied. New first floor walls and roof to be highly insulated and wrapped in metal cladding. New energy efficient glazing and doors installed throughout. ASHP and MVHR installed

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

We have designed a high quality and energy efficient retrofit of an existing home with extensive pre-planning engagement. We had agreed the design with the planning officer pending some minor comments on window positioning which is not sufficient grounds for refusing an application as this is down to personal taste of the planning officer. The refusal report was contradictory to previous discussions, unprofessional and hugely disappointing. We believe the scheme meets all planning requirements.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

- Refusal of Planning Permission - Statement to Midlothian Council Local Review Body - all existing and proposed drawings as issued as part of planning application

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/00467/DPP

What date was the application submitted to the planning authority? *

22/06/2022

What date was the decision issued by the planning authority? *

05/08/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant?. *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: . John Gilbert Architects

Declaration Date: 23/08/2022

White Cottage - 22/00467/DPP **Refusal of Planning Permission**

Statement to Midlothian Council Local Review Body

V1 John Gilbert Architects, 22/08/2022

Summary of case 22/0047/DPP

This retrofit project looks to extend and maximise the energy efficiency of an existing three bedroom family bungalow adjacent to Gladhouse Reservoir. The existing home is cold and draughty which is both uncomfortable and costly for the clients, especially given the ongoing energy cost increases.

We are proposing to add a new roof, providing the family with a new first floor level, while upgrading the existing building fabric to be thermally efficient. We are also proposing the installation of an air source heat pump (renewable zero carbon heating) and mechanical ventilation heat recovery (MVHR) which will minimise the home's heating requirement. The clients has confirmed they would like to strive for EnerPHit standard (Passivhaus equivalent for retrofit) which is the highest energy efficiency standard when working with existing buildings and the heating requirement should be reduced by 90%. We have developed a high quality contemporary design that is sympathetic to the neighbours property that does not try to mimic the existing cottage aesthetic but clearly defines it as modern.

We have had extensive pre-planning discussions with the planning officer, Ingrid Forteath, since February 2022. She has provided detailed feedback via email on several occasions and we have developed our design accordingly. It was agreed early on that the home should have an overall contemporary aesthetic and we were told the use of dormer windows would not be acceptable to the new first floor level. The roof apex will increase by approx. 1.35m but will remain lower than the neighbours' roof apex, this is demonstrated on our proposed cross section drawings. The design submitted for planning permission was the third design option we had drawn up based on Ingrid's feedback, and by mid June, Ingrid confirmed the scheme to be acceptable. Her final comments were very minor (relating to window sizes and areas of timber cladding) and would not be sufficient grounds to refuse planning permission, so we submitted our application on 22nd June 2022.

The client and ourselves were incredibly disappointed to receive a refusal of planning permission on 9th August as the scheme was agreed except for some very minor comments. Having read the 'Recommendation Report' via the online case file, the client and ourselves are incredibly frustrated and disappointed by the comments received as we are both happy with the design proposals and thought we were in a strong position given the level of pre-planning engagement. Many of the comments received were answered months ago and there seems to be absolutely no cognisance of the energy efficiency works and building refurbishment side to this project. We feel we have done everything that has been asked of us from a planning perspective and cannot understand how planning has been refused given the comments received.

This document outlines the case in full and includes detailed information on the existing site, proposed works and responses to the planning comments received.

1. The existing site and house
2. The proposed house
3. Benefits of the development
4. Supporting information
5. Reasons for refusal and agent responses
6. Appendix A - comments on south glazing

The existing site and house

The existing site sits to the north of Gladhouse Reservoir near Gorebridge. There is a minor rural road running from west to east to the north of the reservoir dam. At the west end of the dam there are four dwellings, three to the north of the road and one to the south. White Cottage is the most north easterly building. The neighbouring building is a traditional sandstone cottage with a small modern extension to the east. The surrounding area is mostly open fields but there are pockets of woodland to the east and south. The dam slopes down to the road so White Cottage sits lower than the dam.

White Cottage is a single storey home (assumed 1930's) with a hipped pitched roof covered in red roman style roof tiles and two large chimneys. The walls are double skin masonry with a white render finish with a partially vented cavity and no insulation. The existing windows are uPVC double glazed and are in a traditional cottage style. The existing floor is mainly suspended timber floor with small areas of ground bearing concrete. The existing floor was insulated in recent years but the works were done badly and it needs replacing. There is a small porch extension to the east side of the home that was erected in 2017. There are generous garden spaces to the north, east and south of the home. None of the other surrounding buildings have hipped roofs or red roof tiles.

Please refer to the existing drawings for full details of the house.



The proposed house

There are three key elements to the proposals from the client's perspective:

- i) improved internal layout at ground floor and new first floor
- ii) improve energy efficiency of the home
- iii) updated external appearance to tie existing and proposed together

The ground floor layout has been consolidated to provide a larger bathroom, large master bedroom and more usable living room. A new double height hallway and staircase has been included to provide access to the rear garden and new first floor level. All window sizes and positions remain as existing with the exception of the new rear door and glazed side panel. Refer to proposed ground floor plan for full details.

At first floor there will be an open plan landing with informal sitting room, two generously sized double bedrooms, a new bathroom and storage. The bedrooms and sitting room will offer picturesque views over the reservoir to the south. The wall head will only be slightly raised by 1.2m to minimise the increase in building height while providing the client with as much usable space internally as possible. The new roof apex will remain below the level of the neighbours' apex to the west. The existing chimneys will be removed as they are very poor for energy efficiency. In lieu of dormer windows we have proposed sloping 'L' shape roof windows that give the rooms plenty of light, solar gain (passive space heating from the sun) and views out, while ensuring the external appearance has a contemporary aesthetic. Refer to proposed first floor plan for full details.

As the home is called 'White Cottage' the clients were keen to ensure it still lived up to its name so the three materials proposed externally are: white silicone render, zinc roof / wall cladding and vertical timber cladding. The natural timber cladding has been used to soften predominantly white and grey elevations and carefully positioned to tie in the ground floor and first floor openings, see red lines on elevations below. All the windows will be replaced with timber frame triple glazed Passivhaus certified windows. These are high performance windows minimising heat lost to the outside to further reduce the heating demand of the home. Refer to proposed elevations for full details.





The existing ground floor and external walls will all be fully insulated and made airtight (to minimise heat loss to outside). This insulation / airtightness line will be continued up via the new first floor walls and roof to provide the clients with a fully insulated and airtight home. This keeps the home warm in the cold winter but also keeps the home cool during periods of excessive heat in summer. Given recent the recent heatwaves these kind of retrofit works to existing buildings will need to be employed all across the UK in the coming years.

The home will be heated via an air source heat pump (ASHP) which uses an external unit to take heat from the air and heat an internal water cylinder which provides hot water for sinks, showers, baths and space heating (radiators). This is a renewable zero carbon heating solution. There will be a conservative amount of photovoltaic (PV) roof panels providing the clients with renewable electricity. We have also proposed a mechanical ventilation heat recovery (MVHR) unit which brings in fresh air while extracting stale moist air and transferring the heat to the incoming fresh air. This means you aren't exhausting internal heat to the outside and this massively reduces the heating demand of the home. Our proposals will optimise the internal environment and maximise the occupant's health and benefit them financially.

The glazing to the south (front) elevation has been carefully sized and positioned to control solar gain to minimise the risk of overheating while making the most of the views across the reservoir and maintaining the clients privacy. The footpath along the dam is at first floor level so walkers will be passing here regularly, see below images and refer to Appendix A for full details.



The proposed roof apex height (yellow dashed line) will increase by a maximum 1.35m which would be approximately the height of the existing chimney pots, but most importantly, the new apex will be below the level of the neighbouring stone cottage (red line). Refer to existing site photo below demonstrating this. The new roof will have gables rather than hips which will fit into the local context far better. All the neighbouring buildings have slate tiled gable roofs so the proposed roof will be more suitable than the existing. This was not covered in any comments received from planning.



Benefits of the proposed works

1. Upgraded existing building fabric - protecting the existing building and future proofing it for a fluctuating and unpredictable climate
2. High performance walls and roof at first floor level - providing the clients with an energy efficient and comfortable home with internal accommodation as required
3. Renewable energy technology - combining an ASHP and PV roof panels with the MVHR to minimise the heating demand and maximise efficiency of heating
4. Occupant health and finances - a more energy efficient home means maximising occupant health and reducing energy bills by approx 90%
5. Surrounding context - none of the neighbouring buildings have red tiles or hipped roofs so the proposed gable roof with grey cladding will fit in with the local context far better than the existing house

Supporting information

Please refer to the existing and proposed drawings submitted as part of the planning application for full details of proposed works.

Reasons for refusal and agent responses

The below reasons are as stated in the 'Refusal of Planning Permission' report received on 9th August 2022. We have outlined responses to each.

1. The proposed alterations are neither sympathetic to the character of the existing building or of a sufficient high quality design as to warrant approval of such substantial alterations. The current proposal would detract from the existing character of the application property and the visual amenity of the surrounding area.

Our previous versions of the design retained the existing 'cottage aesthetic' to the ground floor while adding a new first floor and roof but it was agreed with planning that this was not acceptable and an 'overall contemporary approach' was to be adopted. This statement is contradictory to the reasons given in the handling report. Our proposals provide a cohesive overall contemporary building which was the preferred direction agreed with planning. This avoids any new work looking like an addition which has been stuck on to an existing building. The planning proposals use high quality materials throughout and will be detailed in a robust and elegant manner.

The comments received in the handling report are contrary to previous discussions, totally subjective (down to the personal tastes of the planning officer) and unprofessional. We have never received a report containing such poorly argued comments and it is our opinion that the planner has become transfixed on minor details such as window sizes when there is a far bigger picture to be seen given the climate emergency and escalating energy prices.

2. For the above reasons the proposal is contrary to the aims of Scottish Planning Policy which supports good design and policy ENV 6 of the adopted Midlothian Local Development Plan 2017 which requires that development proposals incorporate high standards of design.

As stated above, we believe reason 1 is flawed and contrary to previous discussions.

Our design proposals have been carefully considered and designed to suit the client's needs and local rural context. We have specified high quality materials that are in keeping with the surroundings and offer high performance in terms of energy efficiency.

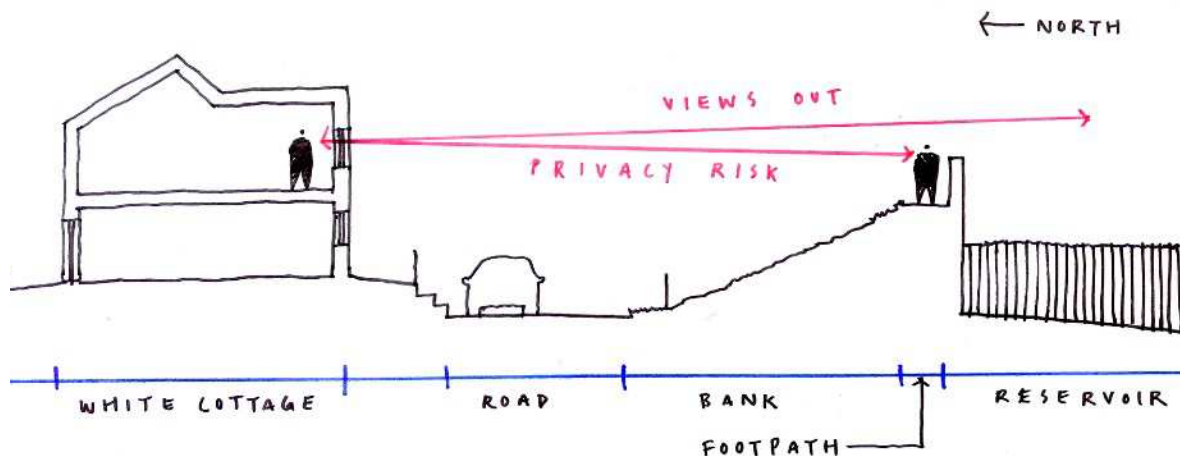
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4. Occupant health and finances - a more energy efficient home means maximising occupant health and reducing energy bills by approx 90%
5. Surrounding context - none of the neighbouring buildings have red tiles or hipped roofs so the proposed gable roof with grey cladding will fit in with the local context far better than the existing house

Appendix A - comments on south glazing

The below mark ups were received from Ingrid Forteath on 17th June 2022. These show the proposed south elevation with variations of glazing and timber cladding shapes and sizes. We confirmed that the glazing to the south elevation had specifically been designed to control solar gain (heat from the sun) and maintain privacy from the footpath along the dam, see below sketch section. These received sketches are naive and based entirely on personal taste and aesthetics which is not how planning policy or architecture should ever be applied and shows a complete lack of understanding.

We believe we have suitably demonstrated how and why elevations are as proposed and that they are based on sound reasoning relating to energy, privacy, internal function and aesthetics. To do anything other than this would be irrational and naive.





Sent: 29 July 2022 12:41

To: Ingrid Forteath <Ingrid.Forteath@midlothian.gov.uk>

Subject: application ref no. 22/00467/DPP

CAUTION: This email originated from outside Midlothian Council. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Ingrid Forteath,

I wish to make a formal public comment regarding the extension at White cottage, Gladhouse Midlothian EH23 4TA. It is as follows.

I have seen the plans to White Cottage for its proposed extension. I personally have no objection to the overall proposal as the most immediate and only neighbour overlooking the property. In fact I was surprised at the difficulty in raising the roof line given the climate emergency, fuel costs etc. It is far more fuel and energy efficient to build and insulate 2-3 storey properties than extend by adding on single storey units. Something planning departments should definitely be taking into account. I do wonder whether the roofing material which is currently metal is the most appropriate given the setting and the location. My view whilst not an objection to the overall plan would be that some form of slate or tile might be more appropriate as a roofing material in a rural setting.

Regards

Jonathan Steele



ACKNOWLEDGED
05.08.2022

MIDLOTHIAN COUNCIL

DEVELOPMENT MANAGEMENT PLANNING APPLICATION DELEGATED WORKSHEET:

Planning Application Reference: 22/00467/dpp

Site Address: White Cottage, Gladhouse Reservoir, Temple, Gorebridge

Site Description:

The application property comprises a single storey detached dwellinghouse in a rural setting on the north side of and overlooking Gladhouse Reservoir. The house is finished externally in white painted render with brown contoured concrete roof tiles and white upvc window frames.

Proposed Development:

Alterations to dwellinghouse to increase roof height

Proposed Development Details:

It is proposed to remove the existing roof over the cottage and raise the wall head and form a new pitched gable end roof with a gable feature at the front to provide accommodation at first floor level. The submitted plans indicate that the ridge of the roof will be 1.2m higher than the existing ridge. The house as altered is to be finished externally in smooth white render with panels of timber cladding at ground floor level and charcoal zinc cladding on the walls at first floor level and on the roof. The front south facing roof plan incorporates solar panels. First floor windows are specified as being timber with a charcoal coloured external finish. Ground floor window are noted as being timber but the colour has not been specified.

An air source heat pump is also proposed attached to the rear elevation of the existing building. No details of the external appearance of the air source heat pump have been submitted.

Background (Previous Applications, Supporting Documents, Development Briefs):

History sheet checked.

Consultations:

The Wildlife Information Centre have recommended that due to the extensive roof works planned and bearing in mind the surrounding habitats (woodland and wetland within 200m) a bat survey should be carried out by a suitably qualified ecologist.

Representations:

One representation has been received in relation to the application raising no objection to the proposal but suggesting that either slate or tiles on the roof would be more appropriate in a rural setting. Surprise is expressed at the difficulty in raising the roof line given the climate emergency, fuel costs etc. stating that it is far more fuel and energy efficient to build and insulate 2-3 storey properties than extend by adding on single storey units which planning departments should take into account.

Relevant Planning Policies:

The Scottish Governments Scottish Planning Policy document supports good design and seeks to protect the amenity of existing development.

The relevant policies of the **Midlothian Local Development Plan 2017** are;

RD1 – Development in the Countryside - states that development in the countryside will only be permitted if it is required for the furtherance of agriculture, including farm related diversification, horticulture, forestry, countryside recreation or tourism; it accords with policies RD2, MIN1, NRG1 or NRG2; or it accords with the Council's Supplementary Guidance on Development in the Countryside and Green Belt. For housing, this is limited to homes required to support an established countryside activity.

ENV6 – Special Landscape Areas – states that development proposals will only be permitted where they incorporate high standards of siting and design and where they will not have significant adverse effect on the special landscape qualities of the area.

It is noted that policy DP6 House Extensions, from the now superseded 2008 Midlothian Local Plan, set out design guidance for new extensions requiring that they are well designed in order to maintain or enhance the appearance of the house and the locality. The policy guidelines contained in DP6 also relate to size of extensions, materials, impact on neighbours and remaining garden area. It also states that front porches to detached or semi-detached houses are usually acceptable provided they project less than two metres out from the front of the house. It also allowed for novel architectural solutions. The guidance set out within this policy has been successfully applied to development proposals throughout Midlothian and will be reflected within the Council's Supplementary Guidance on Quality of Place which is currently being drafted.

Planning Issues:

The main planning issue to be considered is whether or not the proposal complies with the development plan policies and, if not, whether there are any material planning considerations which would otherwise justify approval. As this is an existing house there is no objection in principle to its extension.

The existing property at single storey and with a hipped roof is relatively modest in scale and as a result is not a dominant feature in the landscape. It is pleasant in character with its symmetrical form and bell cast hipped roof.

The proposed alterations will radically change the character of the house. This alone does not preclude consideration of the proposed scheme. The scheme has been the subject of pre-application negotiation. The agent was advised that a contemporary approach may be acceptable however this would need to form part of an overall design concept for the whole of the house, including fenestration at ground floor level and the use of high quality external materials. This was not advised as being the only option available. The general form of the proposal is acceptable. Subject to the proposed zinc roofing forming part of an overall design concept as referred to previously the introduction of this material at the site, also taking in to account the existing concrete roof tiles, at this location would not detract from the character of the area. It was the agent who suggested that the roof height be increased by 1.35m in

response to which he was advised that raising the roof height so as to not exceed the roof height of Stone Cottage next door may be acceptable. In order to consider an extension of the form and size proposed it would need to be of a very high quality design finished in high quality materials. The success of the extension would be very much dependent on these details in order to be considered an improvement on the existing situation. A sticking point has been the treatment of in particular the front elevation especially the front gable and the standard design of the windows. The building as altered will be more prominent than the existing building as a result of the increase in its height and the form of the roof and the large front gable feature. The agent was advised that the panels of timber cladding appear tokenistic and should be deleted from the scheme. The agent was also advised of concern that the front gable will appear as a bulky addition. It was suggested that this would be improved if the two windows at ground level on the front elevation were extended with a further window in the middle to form a bank of glazing with the area of glazing at first floor level also significantly increased.

The agent responded as follows:

- south facing windows to the central gable have been sized specifically to control solar gain, any larger could result in overheating and uncomfortable internal conditions for the client. These upper windows also look out over Gladstone reservoir so we would have concerns over privacy about dog walkers etc. looking into the larger gable windows
- combining the ground floor windows would also not be practical as these are sized as existing and combining these would require considerable structural works which the client does not want to do
- timber cladding softens the palette of materials (grey metal and white render could be very stark on its own) and these tie in with key points on the building so window jambs etc are aligned from existing to new

Further possible options were presented to the agent which did not include excessive areas of glazing above what is currently being proposed along with timber cladding as part of a design feature on the gable to help soften its appearance as opposed to the currently proposed smaller panels of cladding. These suggestions were not taken up or explored further by the agent with the Planning Authority and the currently submitted scheme has not changed since the final pre-application submission.

The proposed alterations are not sympathetic to the character of the existing building and appear as a lacklustre attempt at contemporary design not of a sufficient high quality design as to warrant approval of such substantial alterations. This is a shame as from looking at the agent's website they are clearly capable of more interesting designs. The current proposal would detract from the existing character of the application property and the visual amenity of the surrounding area.

The air source heat pump is to be located at the rear of the house and will not have a significant impact on the character and appearance of the property or the visual amenity of the area. Should planning permission be forthcoming it would be appropriate to condition noise levels in relation to operation of the air source heat pump.

The proposals will not have a significant impact on the amenity of the occupiers of the neighbouring property.

Recommendation:

Refuse planning permission

Refusal of Planning Permission

Town and Country Planning (Scotland) Act 1997

Appendix D



Reg. No. 22/00467/DPP

John Gilbert Architects
The White Studios
201 Templeton-on-the-Green
Glasgow
G40 1DA

Midlothian Council, as Planning Authority, having considered the application by Mr Konrad Rawlik, White Cottage, Gladhouse Reservoir, Gorebridge, EH23 4TA, which was registered on 30 June 2022 in pursuance of their powers under the above Acts, hereby **refuse** permission to carry out the following proposed development:

Alterations to dwellinghouse to increase roof height at White Cottage, Gladhouse Reservoir, Temple, Gorebridge, Midlothian, EH23 4TA

In accordance with the application and the following documents/drawings:

| <u>Document/Drawing.</u> | <u>Drawing No/Scale</u> | <u>Dated</u> |
|----------------------------|-------------------------|--------------|
| Location Plan | (LP)01 B | 30.06.2022 |
| Existing Elevations | (EE)01 A 1:50 | 30.06.2022 |
| Existing Elevations | (EE)02 A 1:50 | 30.06.2022 |
| Site Plan | (EP)01 B 1:200 | 30.06.2022 |
| Existing Ground Floor Plan | (EP)03 A 1:50 | 30.06.2022 |
| Existing Cross Section | (ES)01 A 1:50 | 30.06.2022 |
| Illustration/Photograph | (PD)01 A | 30.06.2022 |
| Illustration/Photograph | (PD)02 A | 30.06.2022 |
| Proposed Elevations | (PE)01 A 1:50 | 30.06.2022 |
| Proposed Elevations | (PE)02 A 1:50 | 30.06.2022 |
| Proposed Ground Floor Plan | (PP)01 A 1:50 | 30.06.2022 |
| Proposed First Floor Plan | (PP)02 A 1:50 | 30.06.2022 |
| Proposed Roof Plan | (PP)03 A 1:50 | 30.06.2022 |
| Proposed Cross Section | (PS)01 A 1:50 | 30.06.2022 |
| Proposed Cross Section | (PS)02 A 1:50 | 30.06.2022 |

The reasons for the Council's decision are set out below:

1. *The proposed alterations are neither sympathetic to the character of the existing building or of a sufficient high quality design as to warrant approval of such substantial alterations. The current proposal would detract from the existing character of the application property and the visual amenity of the surrounding area.*
2. *For the above reasons the proposal is contrary to the aims of Scottish Planning Policy which supports good design and policy ENV 6 of the adopted Midlothian Local Development Plan 2017 which requires that development proposals incorporate high standards of design.*

Dated 05 / 08 /2022



.....
Matthew Atkins - Lead Officer Planning Obligations
Fairfield House, 8 Lothian Road, Dalkeith, EH22 3ZN



**The Coal
Authority**

Any Planning Enquiries should be directed to:

Planning and Local Authority Liaison
Direct Telephone: 01623 637 119
Email: planningconsultation@coal.gov.uk
Website: www.gov.uk/coalauthority

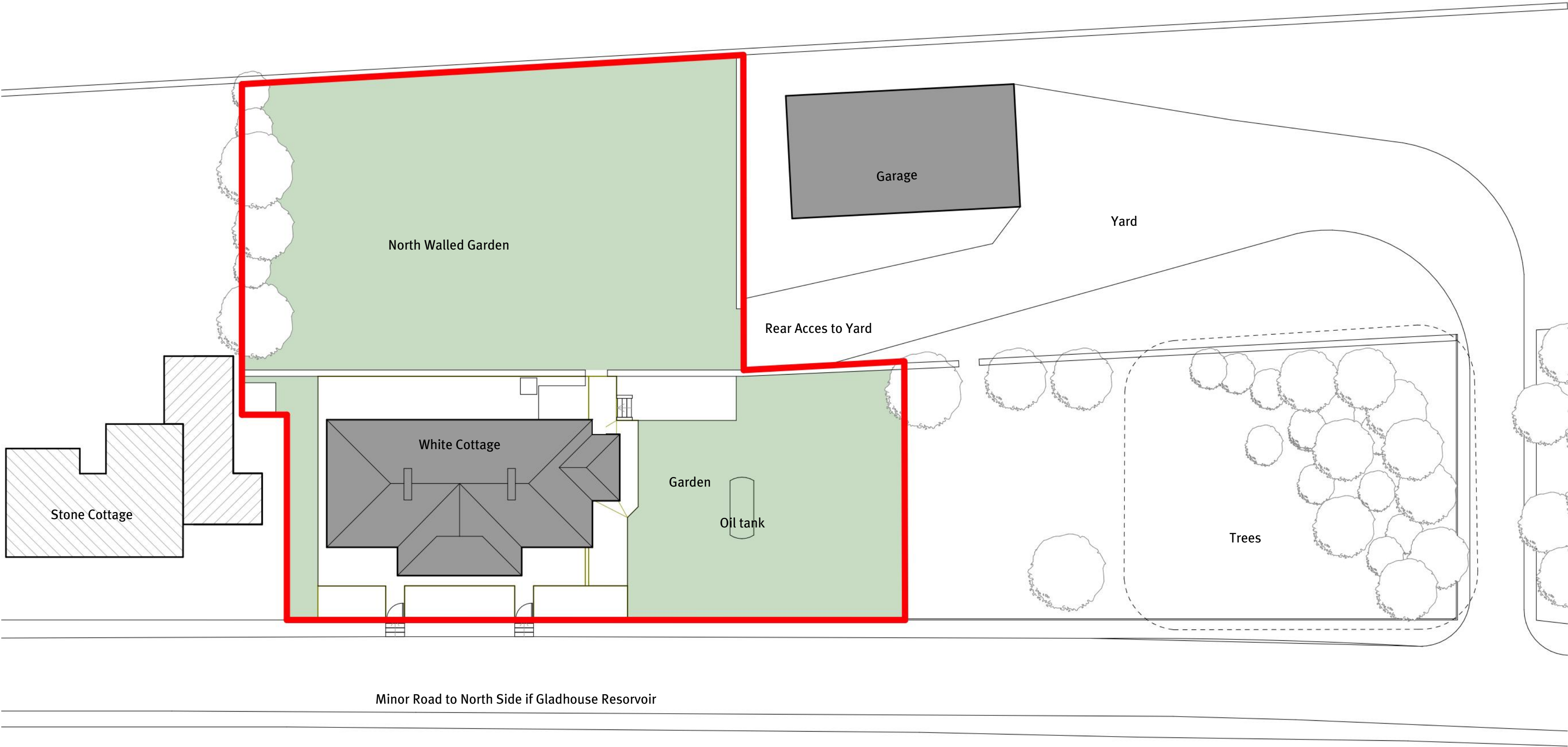
STANDING ADVICE

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority

Standing Advice valid from 1st January 2021 until 31st December 2022

Notes / Key:



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Any discrepancies to be brought to the attention of the architect - if in doubt, ask.

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ARCHITECTS

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Web: www.johngilbert.co.uk

Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
SITE LAYOUT

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:200

Drawn by
BLU

Date of issue
10/03/2021

| Rev. | Amendment | Date |
|------|--|------------|
| B | Site photos added. Issued for planning | 20/06/2022 |

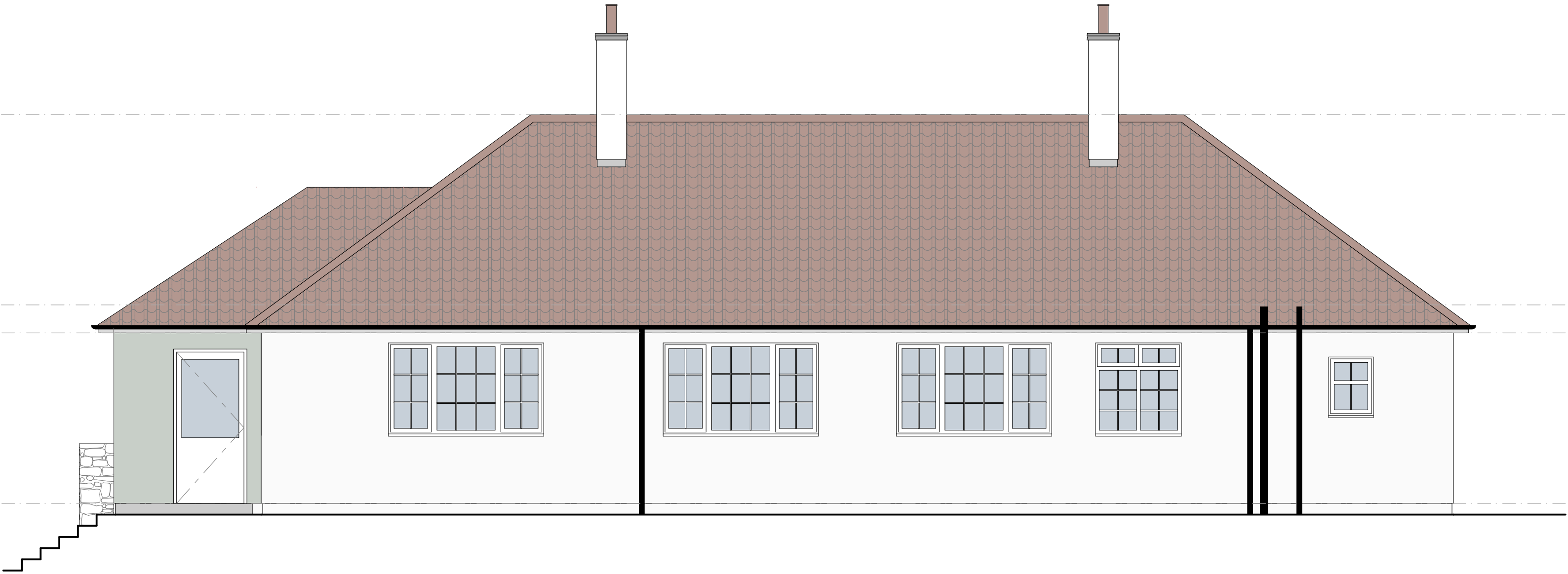
Drg No. Rev
[EP]01_B



Existing Site Photos



Existing Front Elevation



Existing Rear Elevation

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Project
WHITE COTTAGE GOREBRIDGE

Title
EXISTING FRONT AND REAR ELEVATIONS

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:50

Drawn by
DC

Date of issue
20/06/2022

Rev.

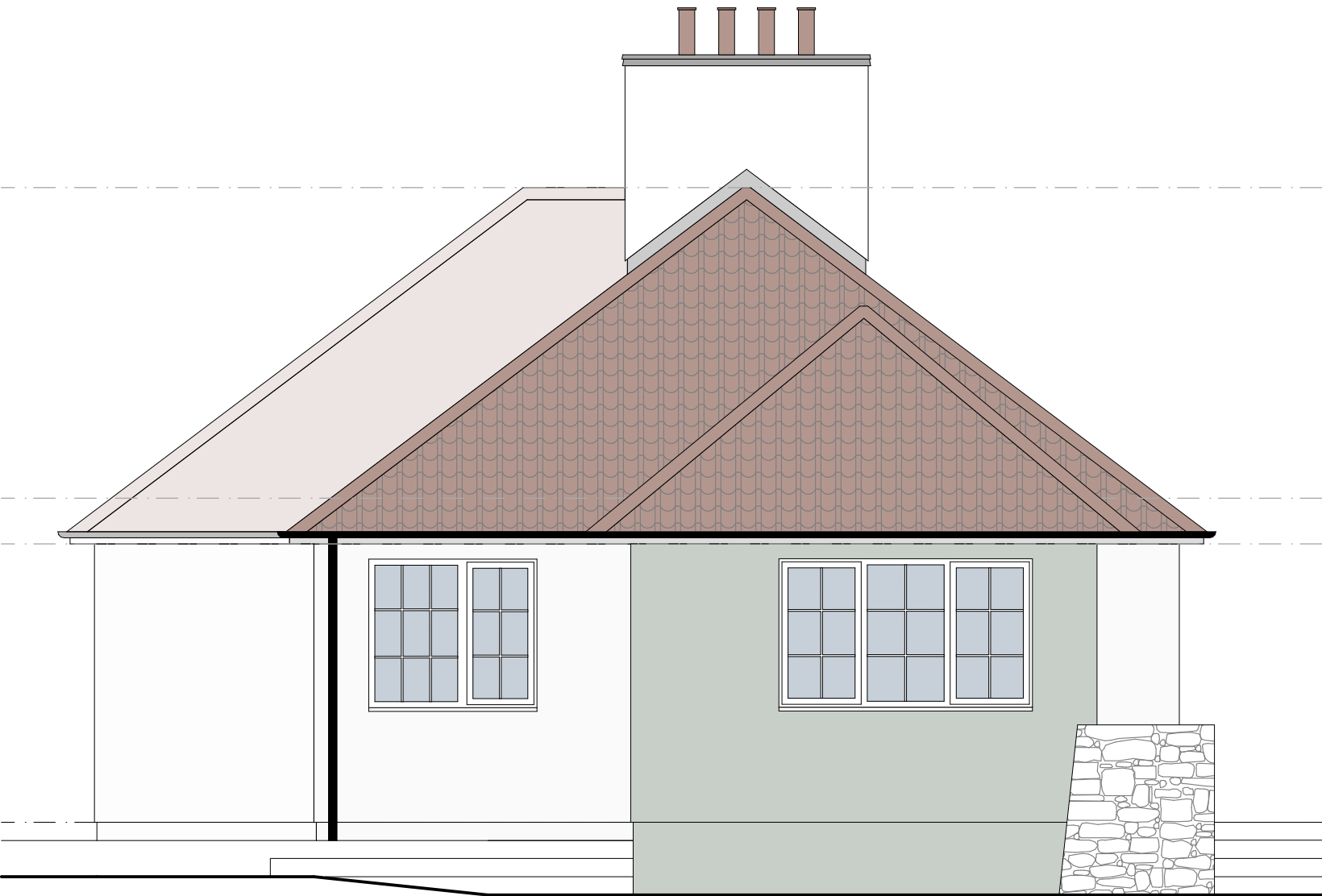
Amendment

Date

Drg No. Rev
[EE]01_A



Existing Gable Elevation



Existing Gable Elevation

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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
EXISTING GABLE ELEVATIONS

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:50

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DC

Date of Issue
20/06/2022

| Rev. | Amendment | Date |
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Drg No. Rev
[EE]02_A

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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
EXISTING CROSS SECTION 01

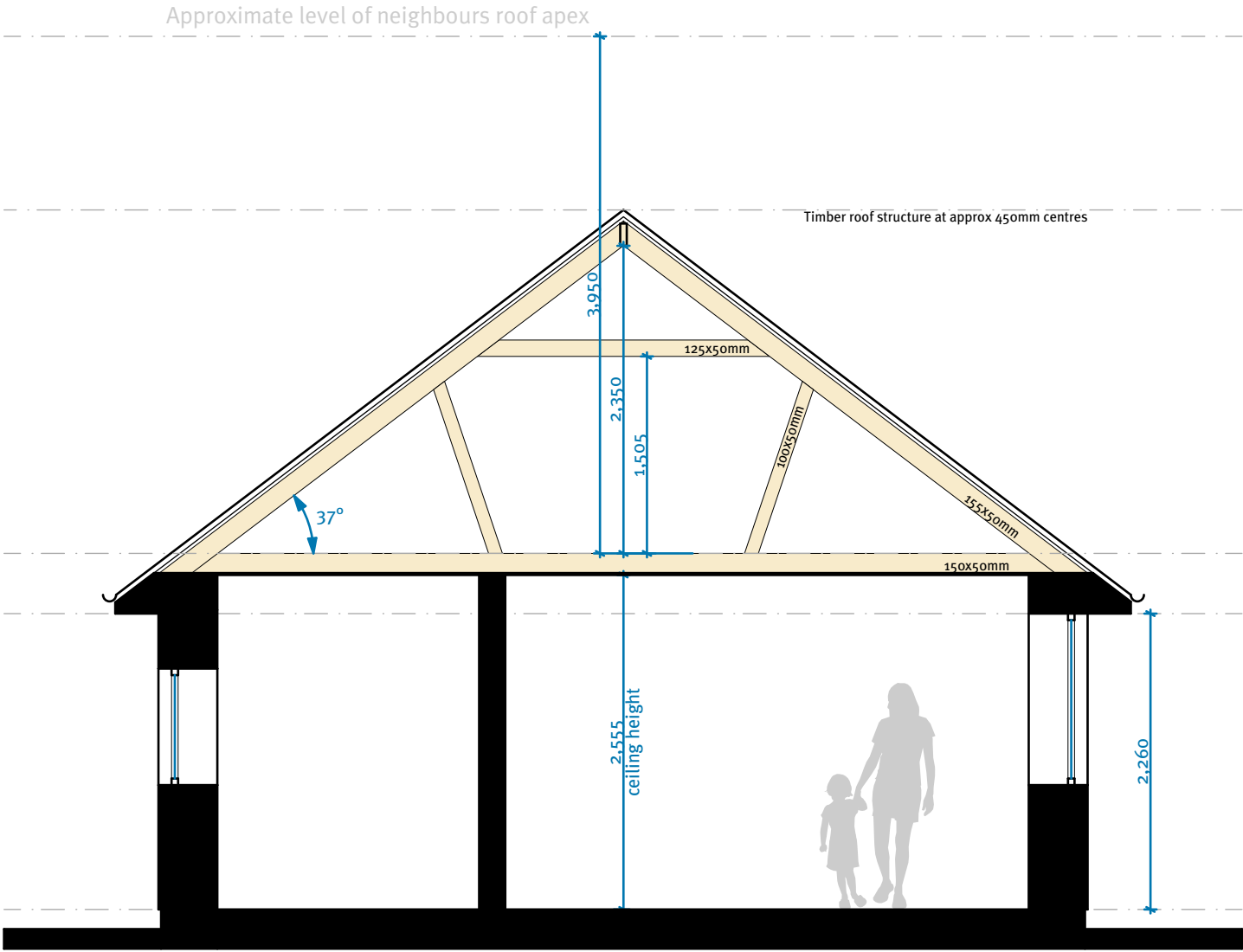
Project Status **FEASIBILITY**

Job No **04377** Scale at A3 **1:50**

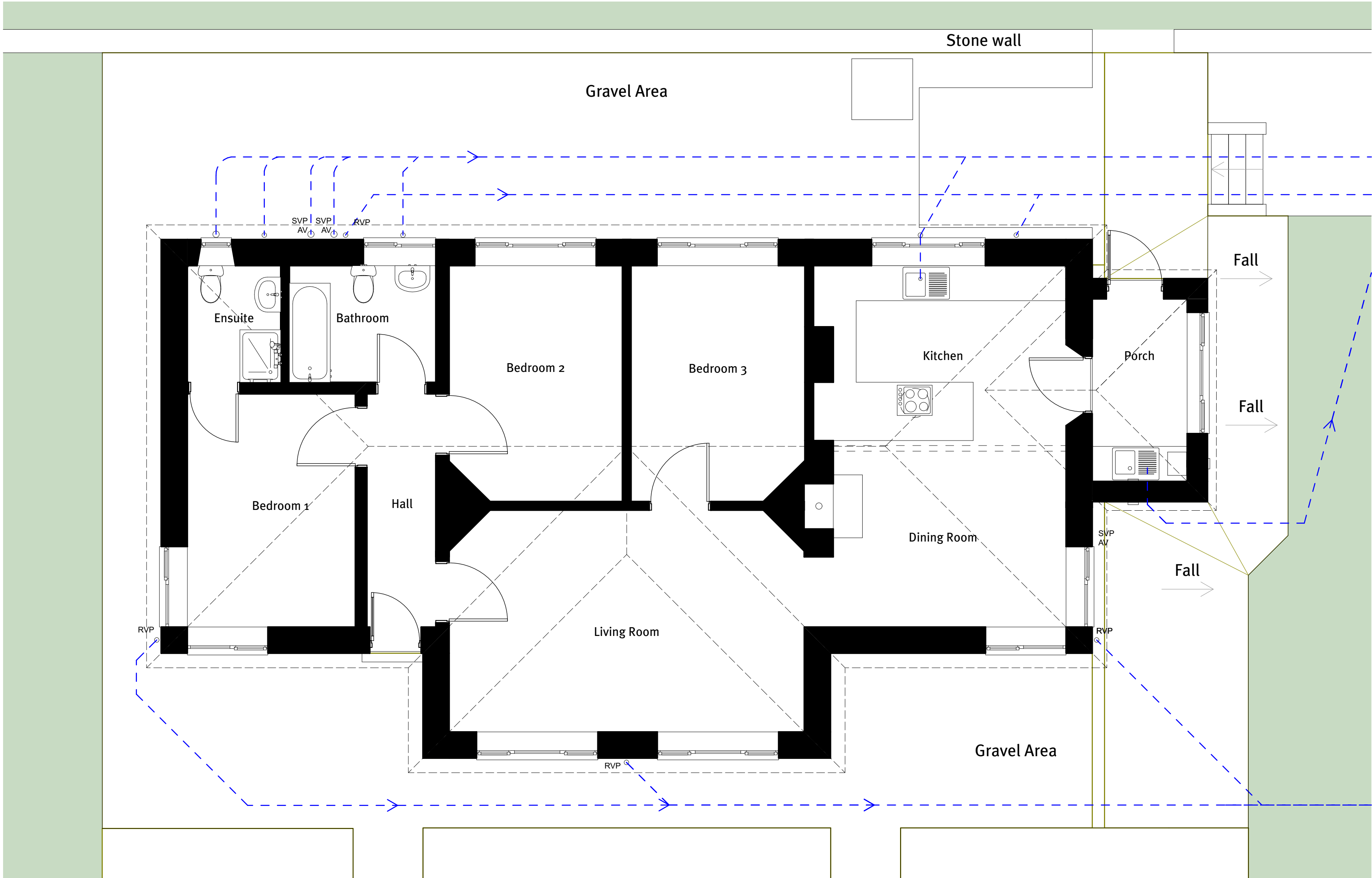
Drawn by **DC** Date of issue **20/06/2022**

Rev. Ammendment Date

Drg No. Rev
[ES]01_A



Existing Cross Section



Existing Ground Floor Plan

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Project
WHITE COTTAGE GOREBRIDGE

Title
EXISTING GROUND FLOOR PLAN

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:50

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DC

Date of issue
20/06/2022

Rev. Amendment Date

Drg No. Rev
[EP]03_A



Proposed Rear View



Proposed Front View

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED EXTERNAL 3D VIEWS

Project Status
FEASIBILITY

Job No
04377

Scale at A2

Drawn by
DC

Date of issue
20/06/2022

| Rev. | Amendment | Date |
|------|-----------|------|
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Drg No. Rev
[PD]01_A




Proposed Front Elevation




Proposed Rear Elevation


Notes / Key:



Zinc standing seam metal roof and wall cladding, charcoal in colour



K Rend 'Silicone TC30 - Pure White' render to external wall insulation



Vertical timber cladding

- Solar photovoltaic panel zones to south facing side of roof, 'in line' install so they are flush with the roof finish
- New first floor and roof level timber structure as per structural engineer's design and specification
- Zinc standing seam metal roof wraps from roof to walls
- New timber frame triple glazed first floor windows and roof windows, refer to cross sections. Openable section is an escape window as per Technical Handbook clause 2.9.4. Charcoal finish externally, natural timber finish internally
- Landscape window to sitting room for views out to the reservoir when standing or sitting, cill at seat height to create window seat
- New timber frame triple glazed windows to ground floor level
- Ground floor walls retained with cavity fill insulation and zoomm mineral wool external wall insulation with white silicone render finish
- Areas of larch vertical timber cladding used to tie in lower and upper windows
- Below DPC level XPS insulation with charcoal silicone render finish to match window frame colour

- Rooflight to new ensuite at first floor, refer to floor plans
- Rooflight and window align with stairs internally to provide natural light to stair and a view outside
- New timber frame triple glazed first floor windows and roof windows, refer to cross sections. Openable section is an escape window as per Technical Handbook clause 2.9.4. Charcoal finish externally, natural timber finish internally
- Gutters concealed in flashing to base of standing seam metal roof, connected to downpipes on gables
- Existing window width extended to create a door and side window for access to garden from living room and hallway
- Areas of larch vertical timber cladding used to tie in lower and upper windows
- Bathroom and ensuite drainage collated into a single soil vent pipe
- External ASHP unit positioned as shown on concrete base, spec to be confirmed with supplier

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Client
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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED FRONT AND REAR ELEVATIONS

Project Status
FEASIBILITY

Job No
04377

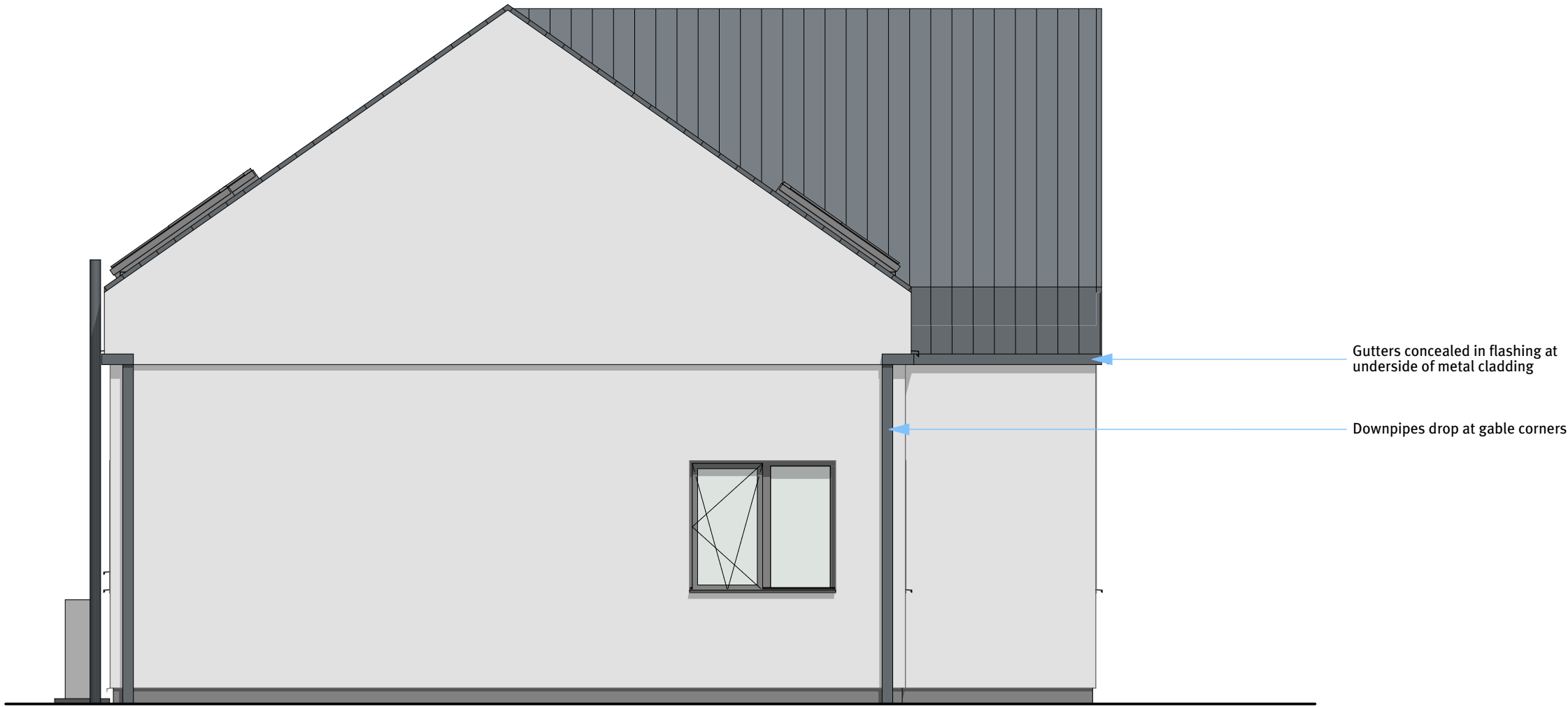
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Date of Issue
20/06/2022

| Rev. | Amendment | Date |
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Drg No. Rev
[PE]01_A



Proposed Gable 1 Elevation



Proposed Gable 2 Elevation

Notes / Key:



Metal standing seam
roof and wall cladding,
charcoal in colour



K Rend 'Silicone TC30 -
Pure White' render to
external wall insulation



Vertical timber cladding

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED GABLE ELEVATIONS

Project Status
FEASIBILITY

Job No
04377

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1:50

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20/06/2022

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[PE]02_A

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED CROSS SECTION 01

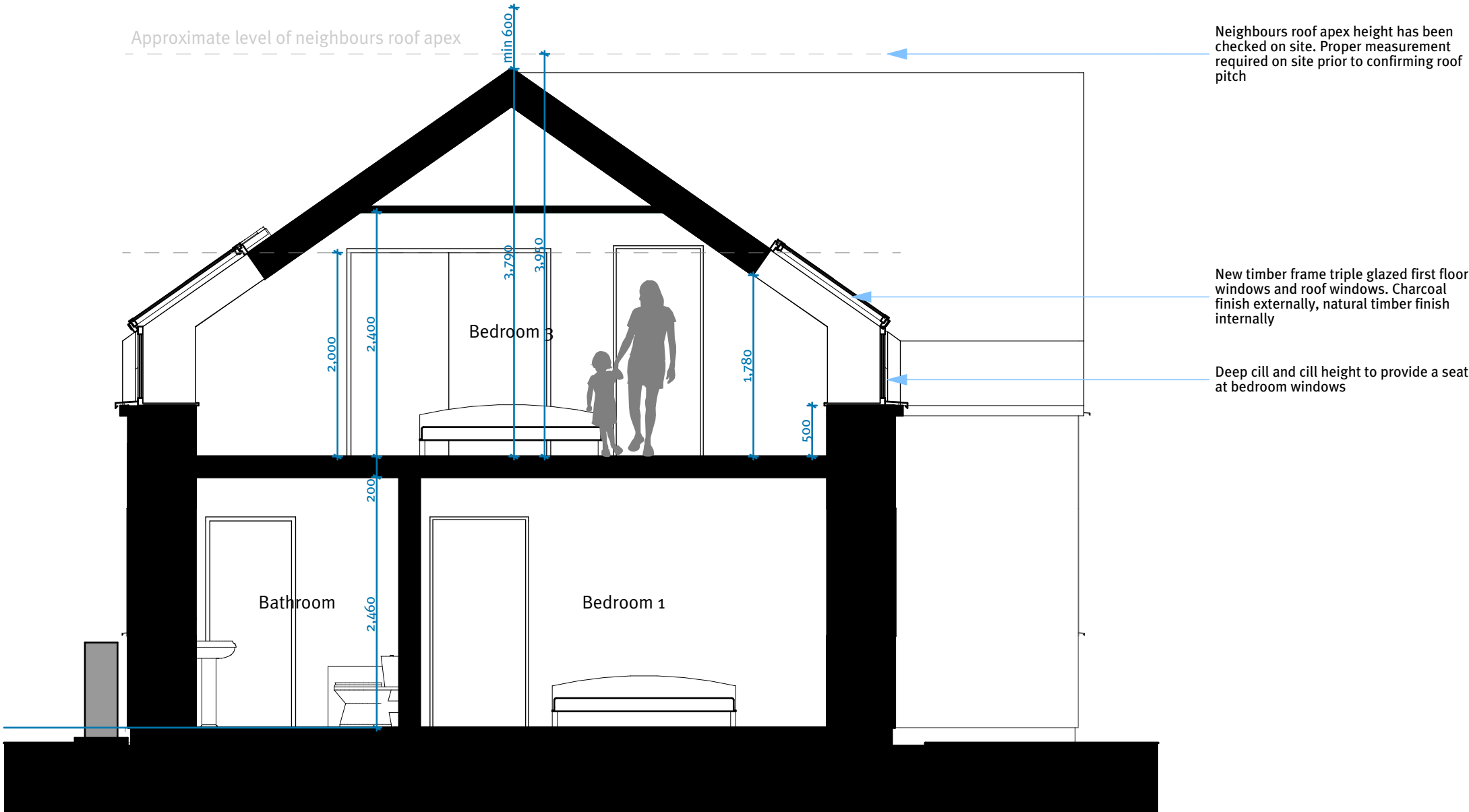
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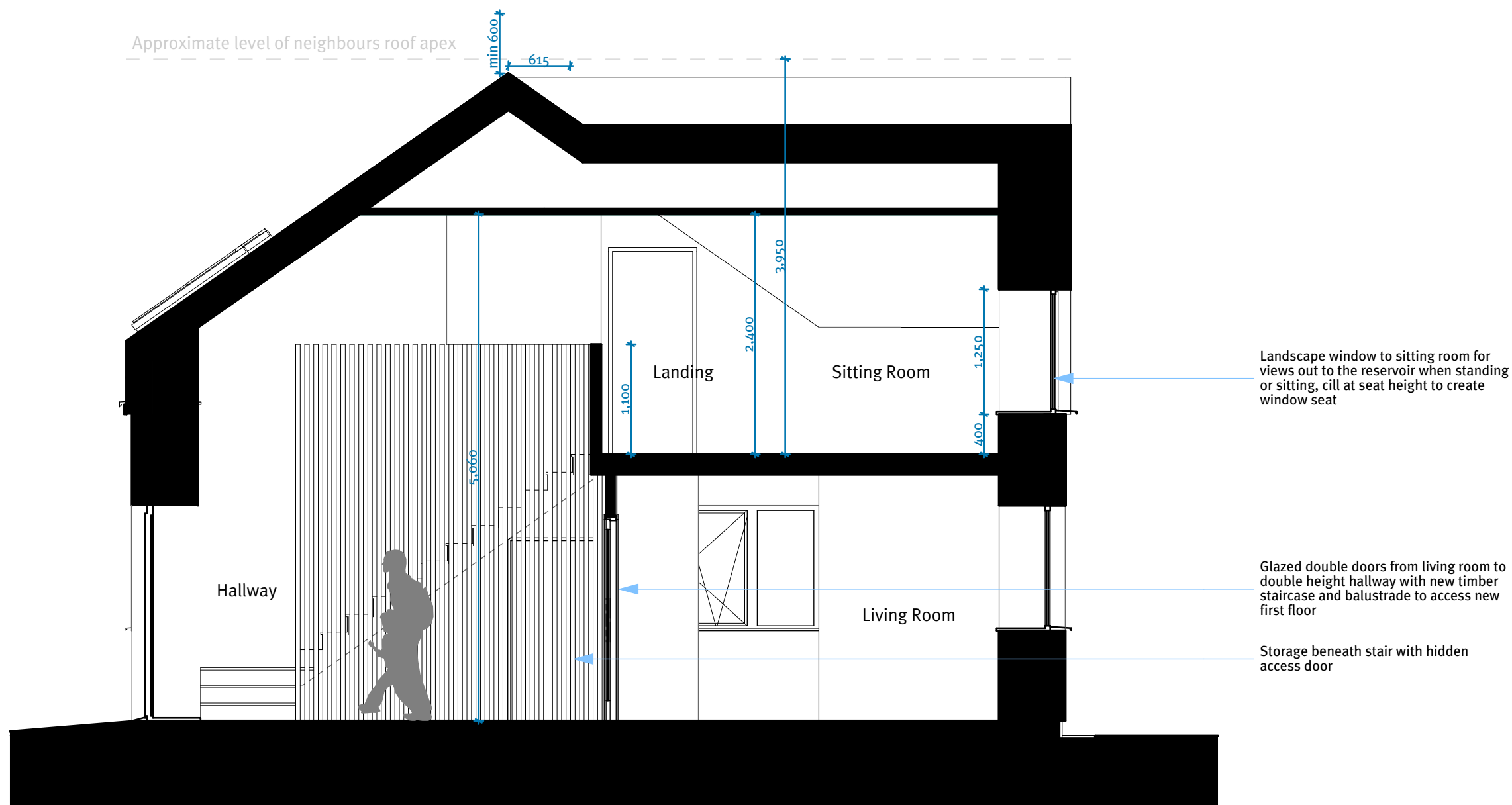
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[PS]01_A



Proposed Cross Section 01



Proposed Cross Section 02

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED CROSS SECTION 02

Project Status **FEASIBILITY**

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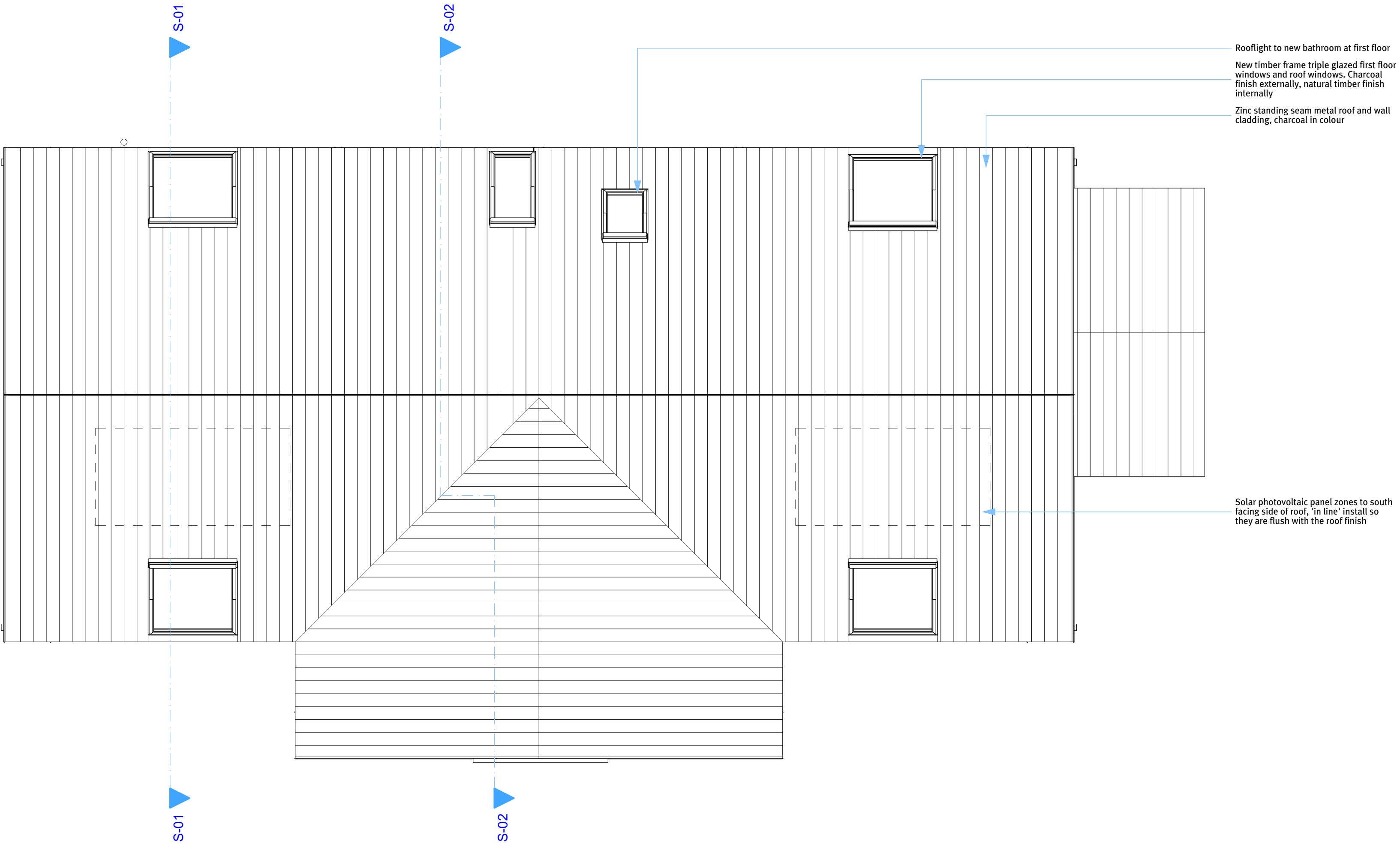
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Drg No. Rev
[PS]02_A



Solar photovoltaic panels integrated into metal roof



Proposed Roof Plan

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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED ROOF PLAN

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:50

Drawn by
DC

Date of issue
20/06/2022

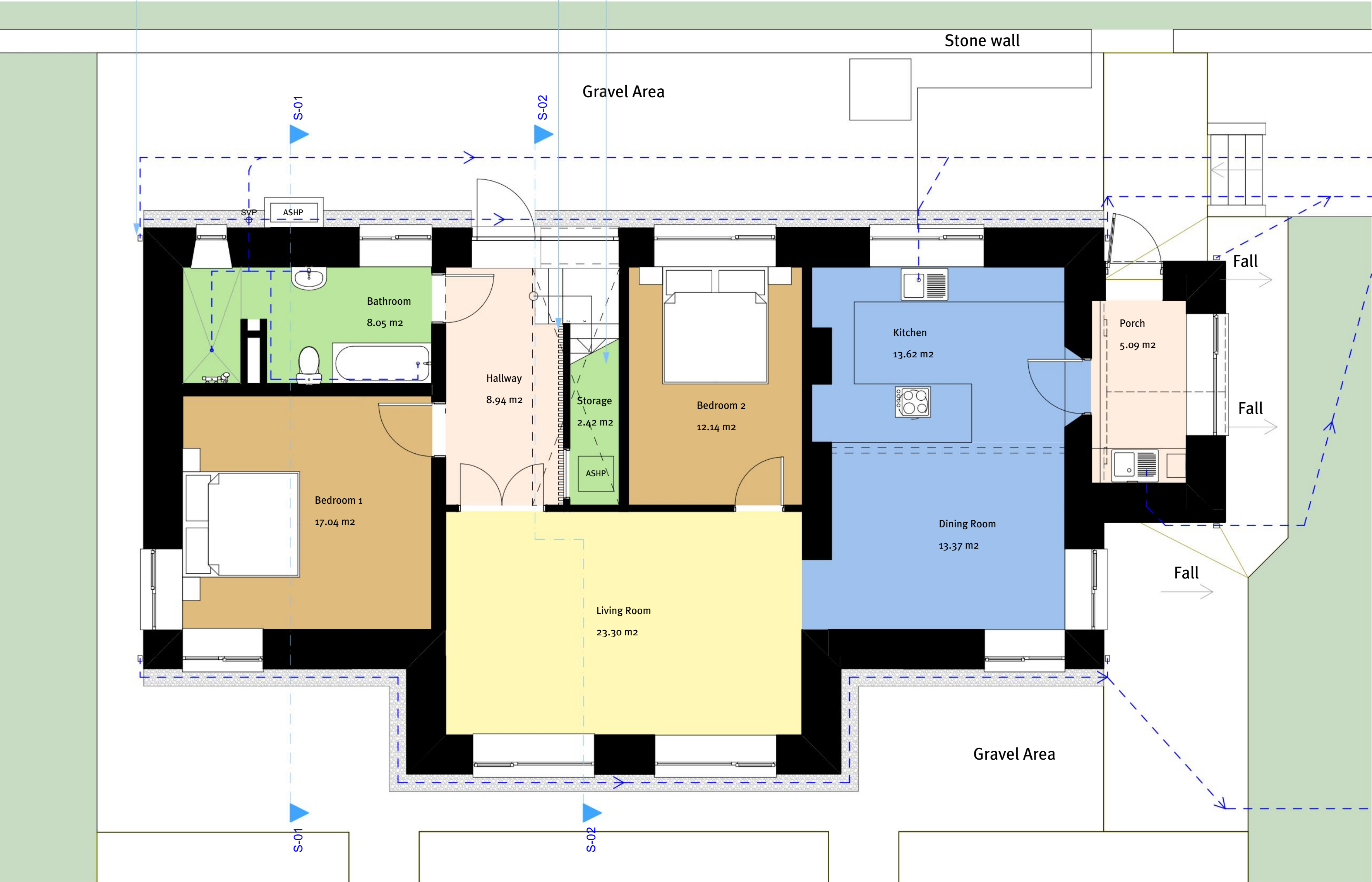
| Rev. | Amendment | Date |
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Drg No. Rev
[PP]03_A

Additional storage beneath the stair for ASHP internal unit, spec to be confirmed with supplier. Door height is reduced to suit stair level above

Timber batten balustrade to stair conceals door to under stair storage

Downpipes drop at gable corners



Proposed Ground Floor Plan

Notes / Key:

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Client
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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED GROUND FLOOR PLAN

Project Status
FEASIBILITY

Job No
04377

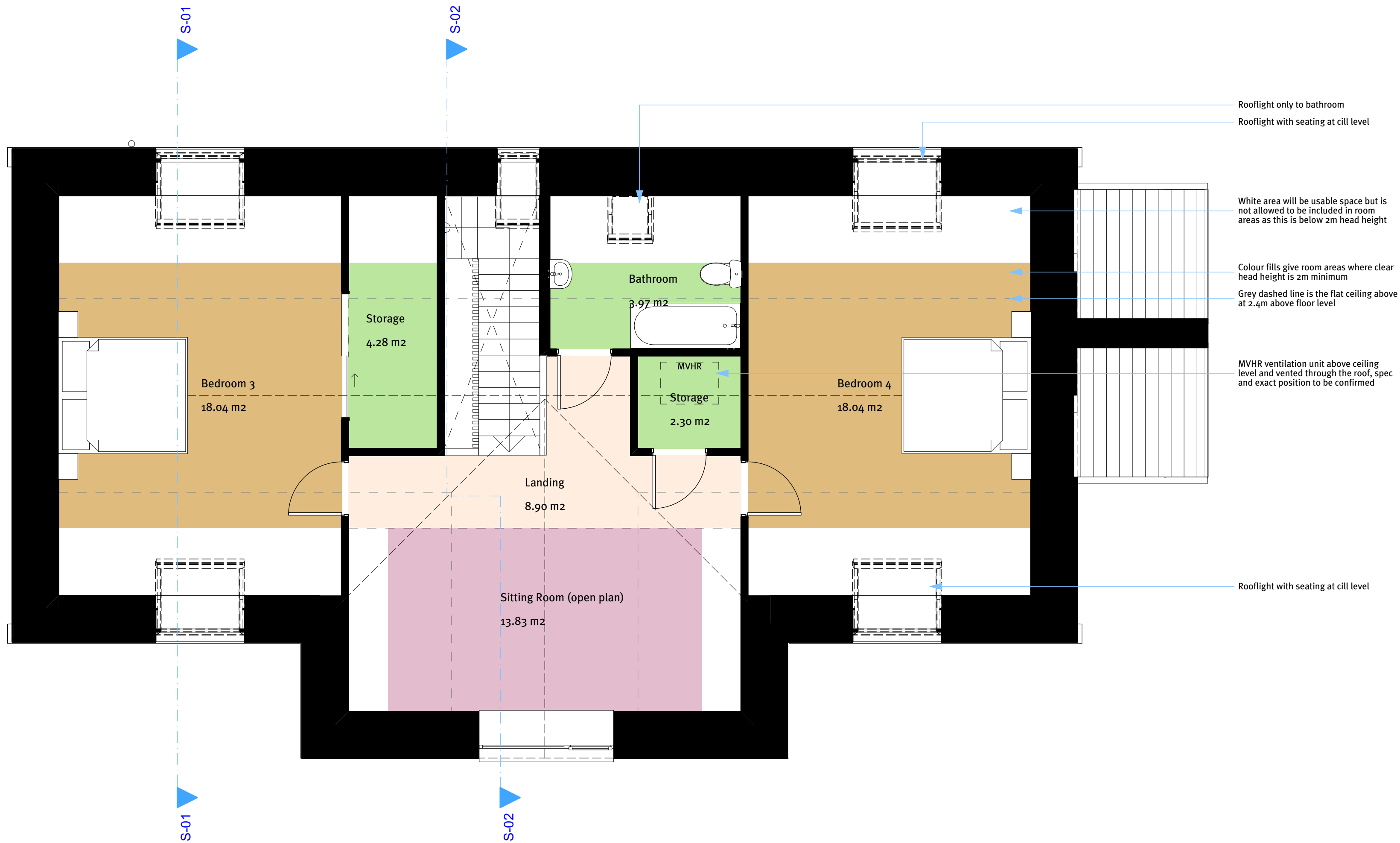
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Date of issue
20/06/2022

| Rev. | Amendment | Date |
|------|-----------|------|
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Drg No. Rev
[PP]01_A



Proposed First Floor Plan

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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED FIRST FLOOR PLAN

Project Status
FEASIBILITY

Job No
04377

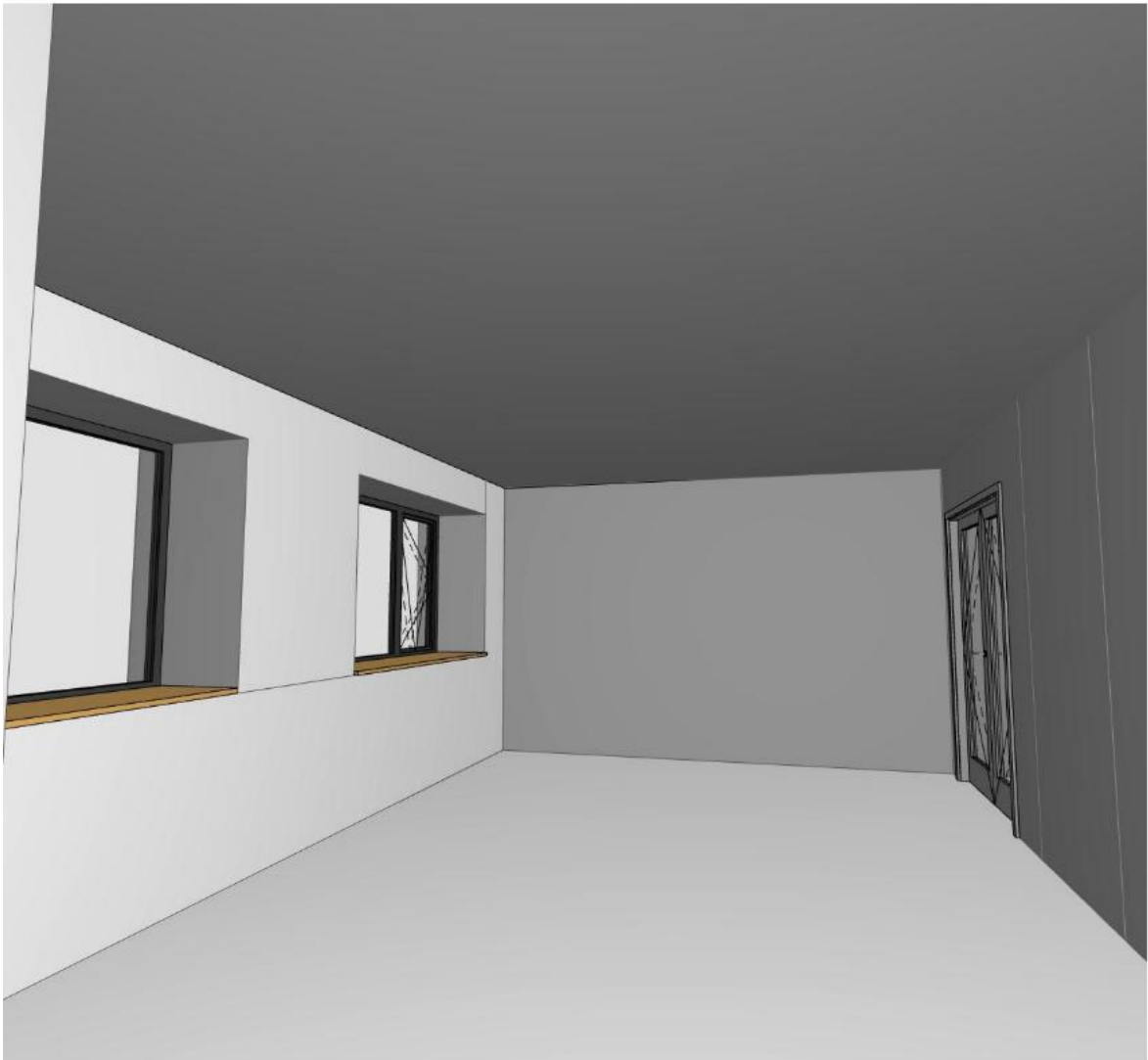
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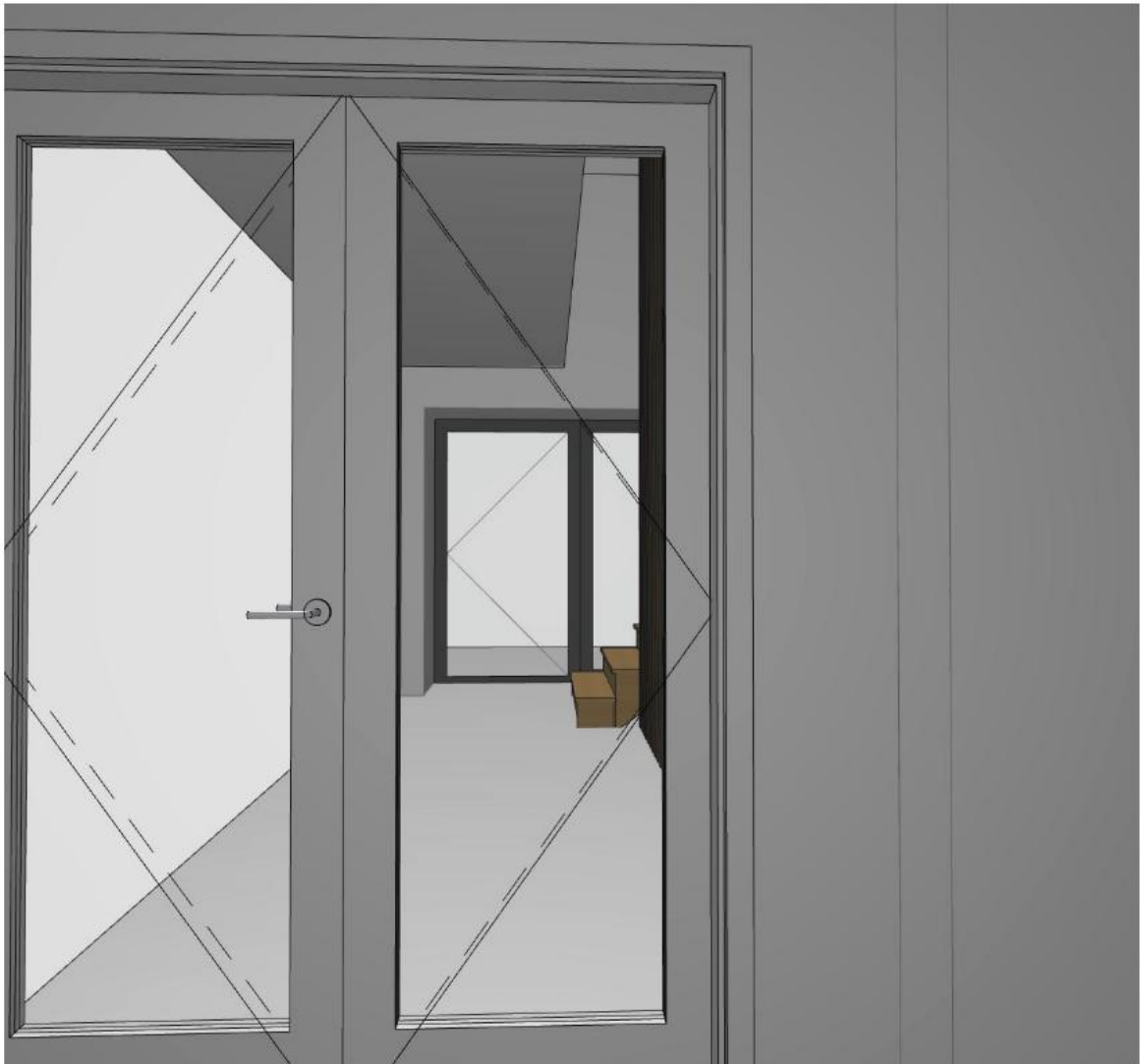
Date of Issue
20/06/2022

Rev. Amendment Date

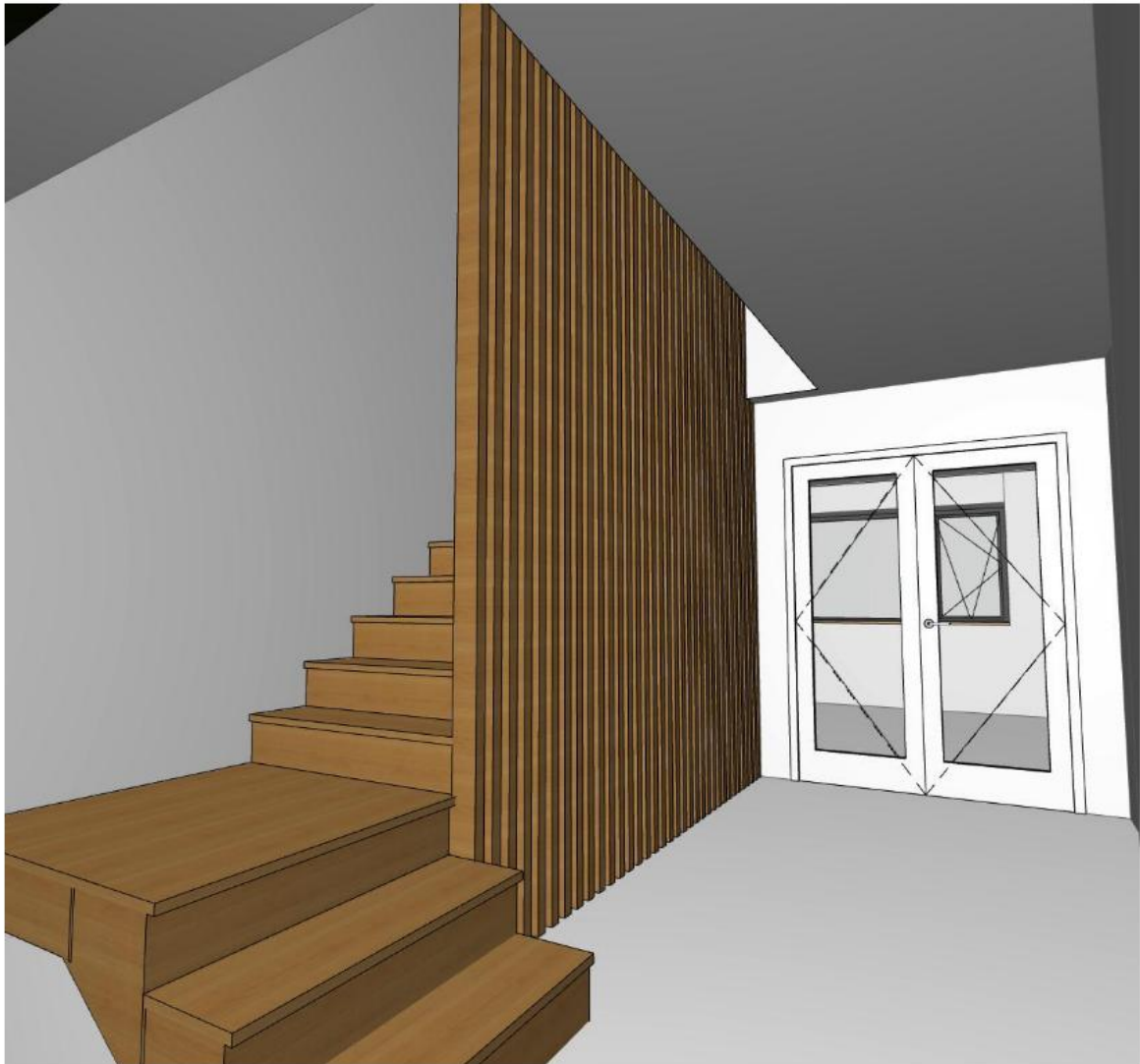
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[PP]02_A



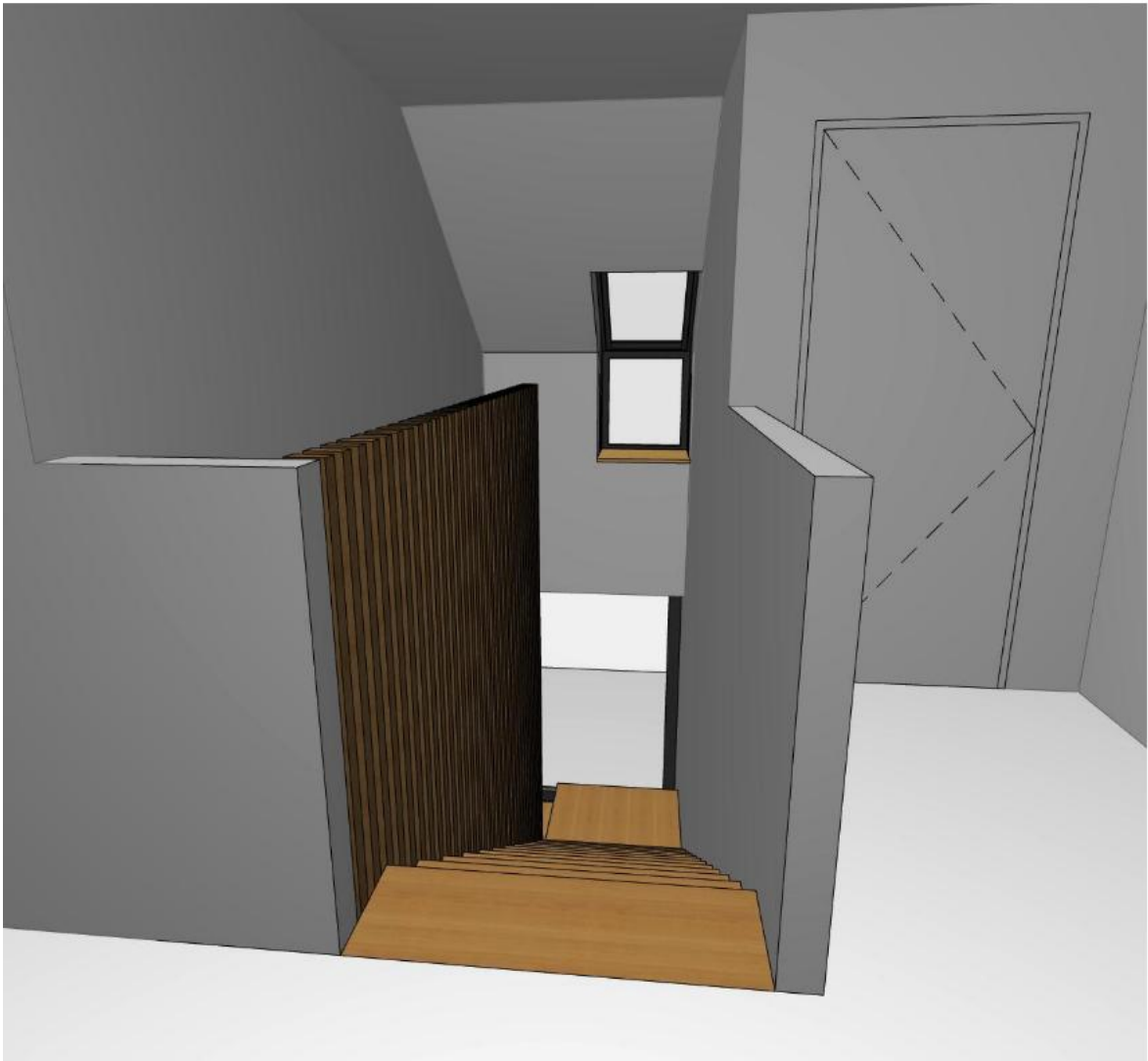
Ground Floor - Living Room View



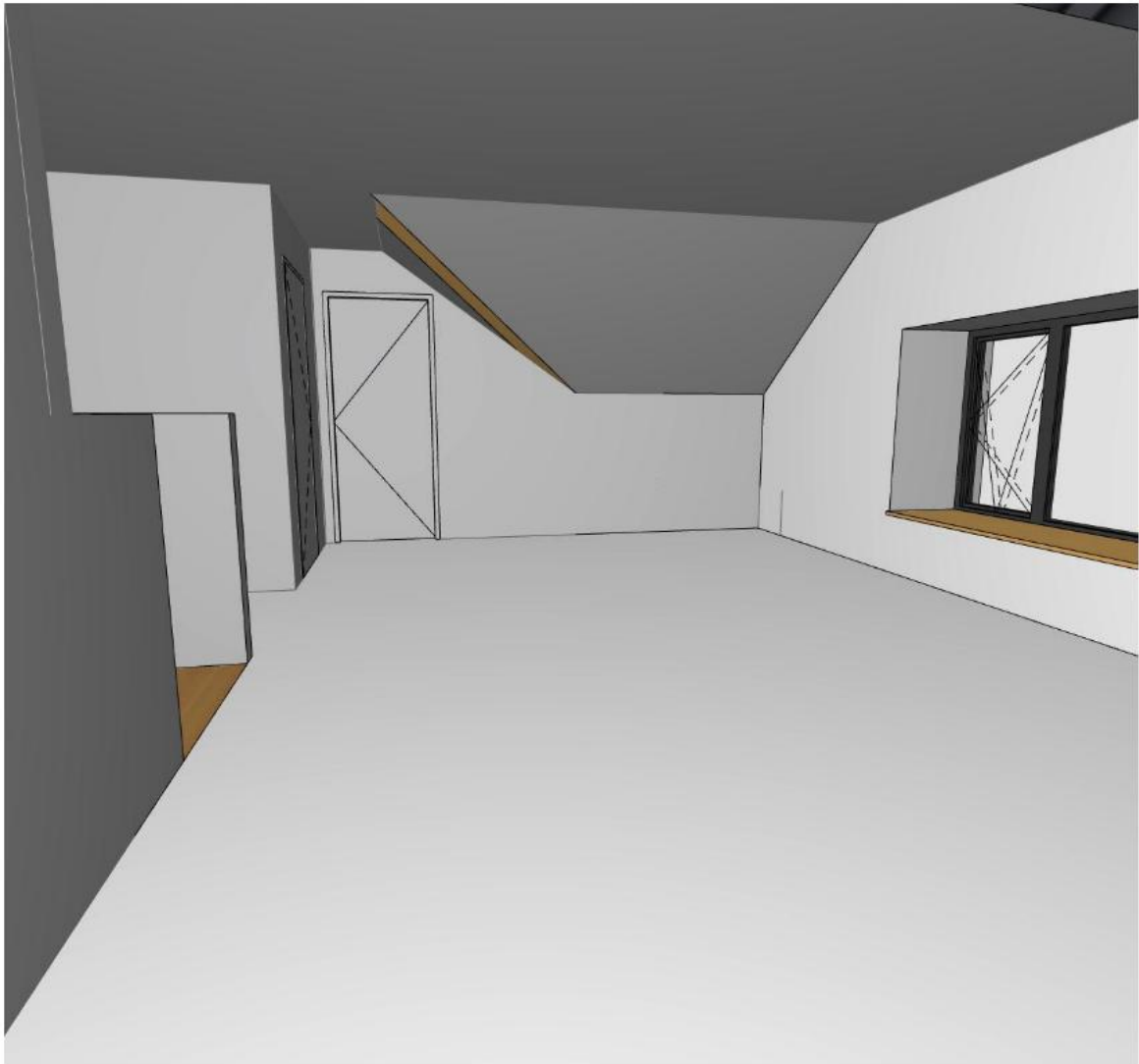
Ground Floor - Living Room into Hallway View



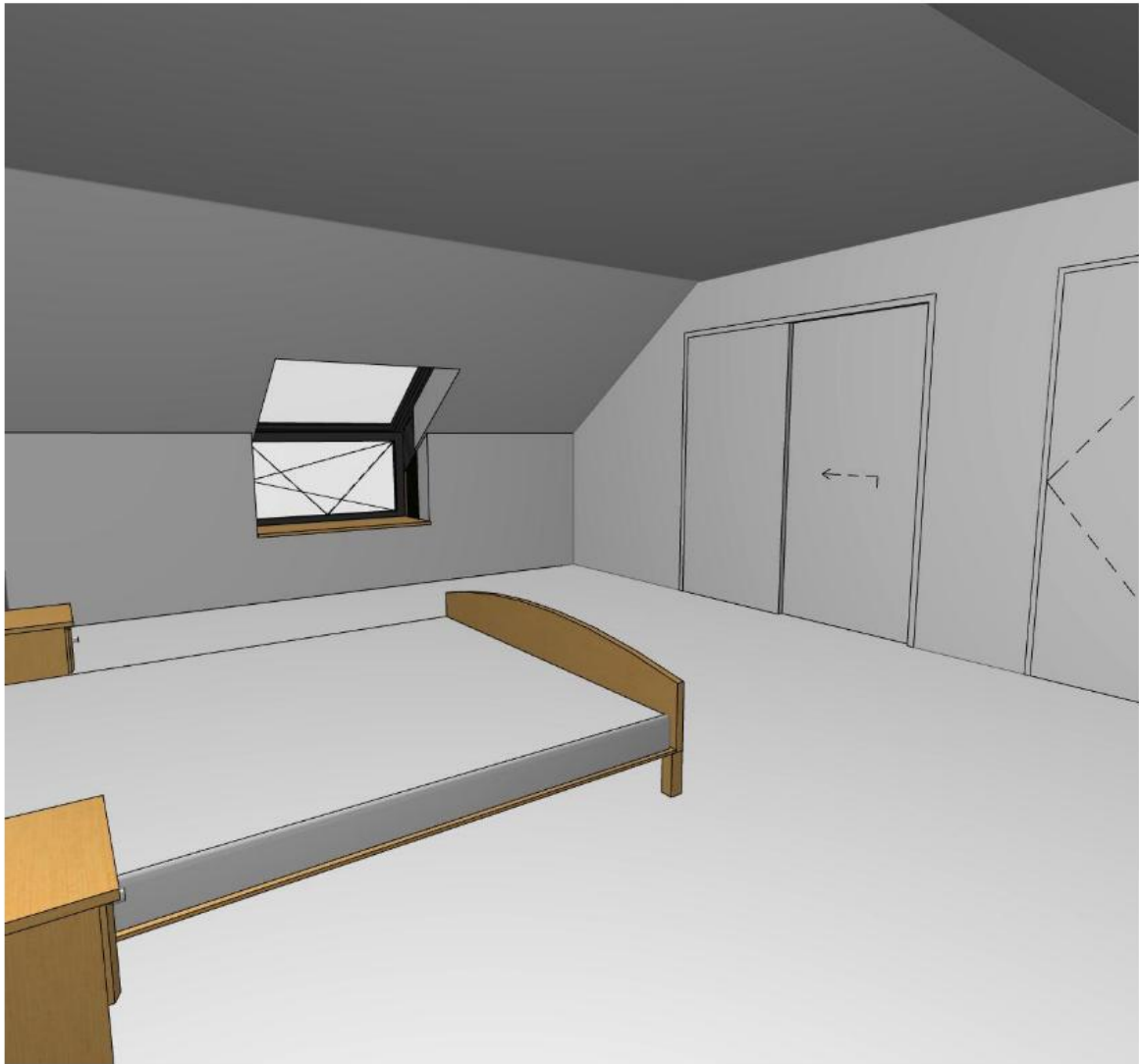
Ground Floor - Hallway View



First Floor - Landing View



First Floor - Sitting Room View



First Floor - Bedroom View

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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED INTERNAL 3D VIEWS

Project Status
FEASIBILITY

Job No
04377

Scale at A2

Drawn by
DC

Date of Issue
20/06/2022

| Rev. | Amendment | Date |
|------|-----------|------|
|------|-----------|------|

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[PD]02_A