



APPLICATION FOR PLANNING PERMISSION (23/00600/DPP) AND LISTED BUILDING CONSENT (23/00821/LBC) FOR EXTENSION TO DWELLINGHOUSE; INSTALLATION OF REPLACEMENT WINDOWS, DOORS AND RAINWATER GOODS; RE SLATING OF ROOF; RE RENDER EXISTING DWELLINGHOUSE; INSTALLATION OF AIR SOURCE HEAT PUMP; AND FORMATION OF AREAS OF HARD STANDING AT GLENARCH LODGE, MELVILLE ROAD, DALKEITH

Report by Chief Officer Place

1 SUMMARY OF APPLICATIONS AND RECOMMENDED DECISIONS

- 1.1 The applications are for an extension to the dwellinghouse; installation of replacement windows, doors and rainwater goods; re-slating of roof; re-rendering existing dwellinghouse; installation of air source heat pump; and formation of areas of hard standing at Glenarch Lodge, Melville Road, Dalkeith.**
- 1.2 There have been no representations received. Consultation responses have been received from the Council's Ecological Advisor and the Council's Archaeology Advisor.**
- 1.3 The relevant development plan policies are policies 1, 2, 3, 4, 6, 7, 8, 11, 14 and 16 of National Planning Framework 4 (NPF4) and policies ENV1, ENV6, ENV7, ENV8, ENV11, ENV19, ENV22, ENV24 and NRG1 of the Midlothian Local Development Plan 2017 (MLDP).**
- 1.4 Also material to the assessment of the applications is Historic Environment Policy for Scotland (HEPS), Sections 59 and 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 and Historic Environment Scotland's – Managing Change in the Historic Environment Guidance Notes on Extensions, Windows, Roofs, and Micro-Renewables.**
- 1.5 The recommendation is to grant planning permission and listed building consent subject to conditions.**

2 LOCATION AND SITE DESCRIPTION

- 2.1 The application site is located on the east side of Melville Road on the approach to Dalkeith/Eskbank from the north. There are mature trees to the north and a brick-built warehouse building on the site immediately to the south. There are fields on the opposite side of the road, to the west, with housing beyond. The house is set at a lower level than the road and the land to the south.**

- 2.2 The application property comprises a mid-late 19th century single storey lodge house and its associated garden. There is a flat roof single storey extension to the rear of the house, adjacent to the warehouse building on the site behind. The house is brick built and finished externally in keyed/lined smooth render with a slate hipped roof and non-original double-glazed stained timber sash and case 6 over 6 pane windows. The property includes decorative canopies over the front door and windows and a tall chimney on the southwest side of the building with a brick cornice. The roof of the property is in disrepair, as is the inside of the building. There is a timber log store on the east side of the building with a stone-built store beyond.
- 2.3 The application property is category C listed (along with the gate piers and gates to Glenarch House which is to the north of the site) as being of special architectural/historic interest and is located within the Eskbank and Ironmills Conservation Area. The property is included on Historic Environment Scotland's Buildings at Risk Register.

3 PROPOSAL

- 3.1 It is proposed to take down the timber log store on the east side of the lodge house and erect a single storey flat roof extension in its place measuring a maximum of 5.2m deep and 6.1m wide. The exposed external walls of the extension are to be finished in larch cladding with blockwork on the south elevation hard up to the retaining structure along the boundary with the land to the south. Sliding doors with bronze coloured aluminium frames are proposed on the north elevation of the extension. The roof will comprise a single ply membrane and will incorporate a rooflight.
- 3.2 The original house and rear extension are to be re-rendered in an off-white render.
- 3.3 It is also proposed to replace the existing windows on the original lodge building with white painted timber framed sash and case (2 over 2 pane) double glazed (profile 14mm max) windows and to install a new window of the same design and materials on the east side elevation.
- 3.4 The window on the west elevation of the existing flat roof extension at the rear of the original building is to be replaced with a bronze coloured aluminium framed window. A new rooflight is also proposed on this part of the building.
- 3.5 A new white painted timber panelled front door is proposed.
- 3.6 It is proposed to replace the gutters and downpipes with black cast iron rainwater goods.
- 3.7 The original submission included the removal of the chimney on the west side of the house. This is now to be retained although the drawings are annotated that this is pending a structural report and that if it is unsafe, it will be taken down and rebuilt.
- 3.8 It is proposed to re-slate the roof including increasing the height of the ridge by 0.2m.

- 3.9 An area of hardstanding is proposed to the front of the extension and store with a flagstone path along the north and west side of the original building.
- 3.10 Internal works include reconfiguring the internal layout of the original building with new internal panelled doors, architraves, skirting boards and new cornicing.
- 3.11 The store building is to be re-rendered to match the new render on the house with a new aluminium framed window and timber door.
- 3.12 An air source heat pump is proposed in front of the store building.
- 3.13 A timber clad bin store measuring 1.8m wide and 0.95m deep and 1.8m high is proposed on the west side of the building.
- 3.14 In relation to policy 1 of NPF4 the agent has submitted a statement describing the application site and advising the following: planting for pollinators is proposed; bird and bat boxes are proposed; protected species survey should be carried out; a new wildlife edible hedge is proposed; proposed works will comply with and go above building standards in terms of sustainability; an air source heat pump is proposed; locally sourced flagstones are proposed internally which retain heat; a rain water butt is proposed; space for home working; locally sourced materials and contractor to be used.

4 BACKGROUND

- 4.1 In 2023 planning permission, 21/00746/DPP, was approved for the erection of 6 dwellinghouses, formation of access road, car parking and associated works at land to the south of Glenarch Lodge. The approved site plan indicates the demolition of the existing warehouse and the erection of a house and its associated garage to the south of the lodge house.
- 4.2 The listed building consent application has been 'called-in' for determination by the Committee by Councillor Smaill. Councillor Smaill has called the listed building consent application on the grounds of the proposal constituting a proportionately large extension to a property which acts as a visual entry point to Eskbank where there are road issues. It is considered appropriate that the planning application also be considered by the Committee, given that the planning application is for the same development as the listed building consent application.

5 CONSULTATIONS

- 5.1 The **Council's Ecological Advisor - The Wildlife Information Centre (TWIC)** does not object to the application but advised that ecological surveys need to be carried out (these were undertaken).
- 5.2 The **Councils' Archaeology Advisor** does not object to the application but notes that the application property is a historic listed building with potential disturbance to/loss of historic building fabric and a change in character of the building and has advised that a Programme of Archaeological Works (Historic Building recording) should be carried out.

6 REPRESENTATIONS

- 6.1 No representations have been received.

7 PLANNING POLICY

- 7.1 The development plan is comprised of National Planning Framework 4 and the Midlothian Local Development Plan 2017. The following policies are relevant to the proposal:

National Planning Framework 4 (NPF4)

- 7.2 Policy **1 Tackling the climate and nature crises**; sets out to encourage, promote and facilitate development that addresses the global climate emergency and nature crisis.
- 7.3 Policy **2 Climate mitigation and adaptation**; sets out to encourage, promote and facilitate development that minimises emissions and adapts to the current and future impacts of climate change.
- 7.4 Policy **3 Biodiversity**; sets out to protect biodiversity, reverse biodiversity loss, deliver positive effects from development and strengthen nature networks.
- 7.5 Policy **4 Natural Places**; sets out to protect, restore and enhance natural assets making best use of nature-based solutions.
- 7.6 Policy **6 Forestry, woodland and trees**; sets out to protect and expand forests, woodland and trees.
- 7.7 Policy **7 Historic assets and places**; sets out to protect and enhance historic environment assets and places, and to enable positive change as a catalyst for the regeneration of places and supports the sensitive repair and bringing back into use of historic buildings on the national Buildings at Risk Register.
- 7.8 Policy **8 Green belts**; sets out to encourage, promote and facilitate compact urban growth and use the land around our towns and cities sustainably.
- 7.9 Policy **11 Energy**; sets out to encourage, promote and facilitate all forms of renewable energy development onshore and offshore. This includes energy generation, storage, new and replacement transmission and distribution infrastructure and emerging low-carbon and zero emissions technologies including hydrogen and carbon capture utilisation and storage (CCUS).
- 7.10 Policy **14 Design, quality and place**; sets out to encourage, promote and facilitate well designed development that makes successful places by taking a design-led approach and applying the Place Principle.
- 7.11 Policy **16 Quality homes**; in relation to householder developments sets out to safeguard the character and environmental quality of the home and surrounding area and the amenity of neighbouring properties.

7.12 Policy **ENV1: Protection of the Green Belt** advises that development will not be permitted in the Green Belt except for proposals that;

- A. are necessary to agriculture, horticulture or forestry; or
- B. provide opportunities for access to the open countryside, outdoor sport or outdoor recreation which reduce the need to travel further afield; or
- C. are related to other uses appropriate to the rural character of the area; or
- D. provide for essential infrastructure; or
- E. form development that meets a national requirement or established need of no other site is available.

Any development proposal will be required to show that it does not conflict with the overall objectives of the Green Belt which is to maintain the identity and landscape setting of Edinburgh and Midlothian towns by clearly identifying their physical boundaries and preventing coalescence.

7.13 Policy **ENV6: Special Landscape Areas** states that development proposals will only be permitted where they incorporate high standards of siting and design and where they will not have significant adverse effect on the special landscape qualities of the area.

7.14 Policy **ENV7: Landscape Character** states that development will not be permitted where it may have an unacceptable effect on local landscape character.

7.15 Policy **ENV 8: Protection of river valleys** outlines that development within the river valley protection areas of the Rivers North and South Esk and River Tyne will not be permitted unless there is a specific locational need for the development.

7.16 Policy **ENV11: Woodland, Trees and Hedges** states that development will not be permitted where it could lead directly or indirectly to the loss of, or damage to, woodland, groups of trees (including trees covered by a Tree Preservation Order, areas defined as ancient or semi-natural woodland, veteran trees or areas forming part of any designated landscape) and hedges which have a particular amenity, nature conservation, biodiversity, recreation, landscape, shelter, cultural, or historical value or are of other importance.

7.17 Policy **ENV 19: Conservation Areas** states that development will not be permitted within or adjacent to conservation areas where it would have any adverse effect on its character or appearance.

7.18 Policy **ENV 22: Listed Buildings** does not permit development which would adversely affect the character or appearance of a listed building, its setting or any feature of special architectural or historic interest.

7.19 Policy **ENV24: Other Important Archaeological or Historic Sites** seeks to prevent development that would adversely affect regionally or locally important archaeological or historic sites, or their setting.

- 7.20 Policy **NRG1: Renewable and Low Carbon Energy projects** supports these technologies subject to criteria including impact on the historic environment

Other National Legislation and Policy

- 7.22 Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 Section 59(1) places a duty on planning authorities when dealing with planning applications to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 Section 14(2) places a duty on planning authorities when dealing with listed building applications to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 64 of the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997 places a duty on planning authorities to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas.
- 7.23 Historic Environment Policy for Scotland seeks wherever possible to protect conserve or enhance the special characteristics and qualities of the historic environment.
- 7.24 **Historic Environment Scotland Managing - Change in the Historic Environment Guidance Notes – Extensions** states: extensions must protect the character and appearance of the building; should be subordinate in scale and form; should be located on a secondary elevation; and must be designed in a high-quality manner using appropriate materials. The guidance allows for different design approaches including complementary and contrasting design. An addition or extension should play a subordinate role. It should not dominate the original building as a result of its scale, materials or location, and should not overlay principal elevations.
- 7.25 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – Windows** states: the windows of a historic building form an important element in defining its special interest and character; the size, shape, design and proportions of a window, the reflective sparkle and irregularities of old glass, the pattern of design, the materials and details of construction, the method of opening, the finish, and associated fixtures, typically contribute to the character of a historic window; maintenance and appropriate repair is the preferred means of safeguarding the character of a historic window; some types of double-glazing can be incorporated within existing window joinery and may be acceptable where no historic glass remains; where a window is of limited interest or beyond repair, its replacement should be permitted; new double-glazed windows may be acceptable, if they can closely match the original window design, detail and materials; the colour of internal spacer bars in unit cavities can also be important; e.g. white can better replicate the glazing bar colour; and generally, replacement windows should seek to match the original windows in design, form, fixing, method of opening and materials. In replacing sash windows, materials other than timber, e.g. uPVC, will rarely be acceptable.

- 7.26 **Historic Environment Scotland Managing Change in the Historic Environment Guidance Notes – Roofs** states: roofs and associated features form important elements in defining a building's character. The significance of a historic roof comes from a number of factors including its age, functional performance, shape and pitch, profile, and the qualities of its supporting structure, covering materials and associated features. Alterations and repairs to roofs and their associated features should protect the character of the historic building.
- 7.27 **Historic Environment Scotland - Managing Change in the Historic Environment Guidance Notes –Interiors** states: that the interior of a historic building is important in defining its character and special interest and that room proportions are important to the integrity of a design. It also states that alterations must be carefully planned and located to best protect the interest of the internal spaces. In general, the principal spaces in a building will be more sensitive to change as these are the spaces that normally make the most significant contribution to its character. Where the original plan form (or a later plan form of special interest) survives, this should normally be retained without subdivision or amalgamation of spaces, and all major works of alteration restricted to areas of secondary importance
- 7.28 **Historic Environment Scotland - Managing Change in the Historic Environment Guidance Notes – Micro-renewables** states: the use of renewable energy technology in the historic environment is supported where the character of the historic building or place can be protected through careful siting and design. Renewable energy systems will often have some visual or physical impact on the building or site they serve, and it is important to minimise this impact to maintain the character and significance of the historic asset. Micro-renewable installations should be planned carefully to minimise intervention affecting historic character while balancing the potential of available renewable energy sources. Where possible, installations on a building should avoid its main and visible elevations. It may be possible to place installations on secondary parts of the building, adjacent outbuildings or on the ground nearby.

8 PLANNING ISSUES

- 8.1 The main planning issues to be considered in determining these applications is whether the proposal complies with development plan policies and Historic Environment Scotland policy and guidance unless material planning considerations indicate otherwise. The consultation responses received are material considerations.

Principle of development

- 8.2 The house is an existing residential property and as such there is a presumption in favour of supporting its extension and alteration – this position is not undermined by its location in the green belt, within a conservation area or by means of it being a listed building.

Detailed design

- 8.3 Given that recently published building regulations require increased insulation in house extensions, which helps reduce heat loss and can

reduce energy consumption in the home, along with the provision of an air source heat pump, the proposed development will contribute to addressing the global climate crisis at a local level.

- 8.4 The central issues in the consideration of the applications are the impact of the proposals on the character of the application property and the visual amenity of the surrounding area.
- 8.5 The existing building is in a dilapidated state. The proposed re-roofing, new render, new gutters, windows and front door are not only appropriate to the character of the building but will improve its appearance and safeguard the long-term future of this historic building. Details of the specification of the exact colour of the render and a sample of the proposed slate to be used can be secured by condition should planning permission be granted. The existing chimney on the west side of the building is a prominent feature and adds to the character of the building. It would be appropriate to condition that the chimney is not removed unless a structural report is submitted that demonstrates that it is necessary to remove it on health and safety grounds and requiring its replacement on a like-for-like basis.
- 8.6 Guidance from HES is clear that contemporary extensions to listed buildings can be successful. The proposed extension is set back from the principal elevation of the original lodge house. Also, the proposed external finish of timber cladding with a large area of glazing on the north elevation will give it a relatively lightweight appearance with a clear distinction between the traditional lodge house and the new addition. The footprint of the original part of the lodge house measures 54sqm. The footprint of the existing rear extension measures 21sqm. The proposed extension measures 28sqm. The combined footprint of both extensions at 49sqm is less than that of the original house. As a result of a combination of these factors, the proposed extension will appear subservient, with the original form of the lodge house still evident and the integrity of the original lodge house preserved.
- 8.7 The frames of the new window on the existing flat roof extension are contemporary both in term of material and colour and is not out of keeping with the flat roof design of this part of the building. They will not have a significant impact on the character and appearance of the original lodge house, again distinguishing the original from the newer parts of the building. The rooflight will not have a significant impact on the character and appearance of the building. In line with development plan policy and the recommendations of the Council's Archaeology Advisor archaeological works can be covered by condition should planning permission be forthcoming.
- 8.8 Sufficient garden area will remain after the erection of the extension and the new areas of hard surface will not detract from the character and appearance of the property.
- 8.9 It was not safe to access the inside of the building during the assessment of the applications. However, the agent has provided photos of the interior which show extensive damage and damp. Whilst the proposed internal alterations will change the floor plan of the original lodge house in its current state it is preferable that the building

is restored and the proposed new skirtings, cornices, architraves and internal doors will go some way to restore the traditional character of the interior of the building.

- 8.10 The proposed alterations to the store building will improve its appearance. Set apart and back from the original lodge house the proposed air source heat pump will not have a significant impact on the character and appearance of the listed building and complies with HES guidance which suggests adjacent outbuildings as a possible location for this technology.
- 8.11 Albeit the proposed bin store is to be located between the boundary wall along Melville Road and the existing building, due to the ground level being at a lower level than the road it will not be a prominent feature and will not have a significant impact on the setting of the listed building.
- 8.12 The improvement to the appearance of the application property will make a positive contribution to the character and appearance of this part of the conservation area.
- 8.13 The proposals by means of their size, design and siting will not have a significant impact on neighbouring properties.
- 8.14 There is an existing dropped kerb and raised area of ground on the west side of the property, the latter of which is annotated as being a gravel driveway on the submitted plans.
- 8.15 It is proposed to remove self-seeded vegetation and a hedge along the north boundary of the site. In addition, during the processing of the application it was established that a mature beech tree in the north corner of the site is unsafe and needs felling. Whilst ordinarily replacement planting would be required to compensate for the loss of existing landscaping the removal of the self-seeded vegetation, hedge and tree is not as a direct consequence of the proposed development and as such a condition for replacement planting would be unreasonable. However, the submitted site plan does show replacement hedge planting and wildflower and nectar rich planting.
- 8.16 Bat surveys have been carried out at the property with no further action required in this respect.

9 RECOMMENDATION

- 9.1 That planning permission (23/00600/DPP) be granted for the following reasons:
 - 1. *The proposed development does not conflict with the aims of NPF4 with regards to sustainability or climate change and the proposed air source heat pump complies with policy 11 of NPF4 and policy NRG1 of the Midlothian Local Development Plan 2017.*
 - 2. *As the site is an existing dwellinghouse the proposals do not conflict with policy 8 of NPF4 or policy ENV1 of the Midlothian Local Development Plan 2017 in relation to development within the green belt.*
 - 3. *The proposals will not detract from the character, appearance or setting of the listed building, or the character and appearance of*

the Eskbank and Ironmills Conservation Area, or the special landscape qualities of the Special Landscape Area. The proposals comply with the aims of Historic Environment Scotland's Policy Statement, Historic Environment Scotland's Managing Change in the Historic Environment Guidance Notes, and policies 4, 7, 14 and 16 of NPF4 and policies ENV6, ENV19 and ENV22 of the Midlothian Local Development Plan 2017.

Subject to the following conditions:

1. The development to which this permission relates shall commence no later than the expiration of three years beginning with the date of this permission.

Reason: *To accord with the provisions of Section 58 of the Town and Country Planning (Scotland) Act 1997 (as amended by the Planning (Scotland) Act 2019).*

2. Details of the colour of the render proposed on the external walls of the existing building and store shall be submitted to the planning authority and the render shall not be applied until this detail has been approved in writing by the planning authority.
3. The colour of the proposed timber cladding on the external walls of the extension shall be as per the details contained in the e-mail from holstead lukas dated 1 March 2024.
4. A sample of the slate proposed on the roof of the existing building shall be provided on site and the slate shall not be installed on the roof until this detail has been approved in writing by the planning authority.
5. The existing chimney on the west side of the original lodge house shall not be removed unless a structural report demonstrating that it is necessary for it to be removed on health and safety grounds has been submitted to and approved in writing by the planning authority.
6. In the event that condition 5 is satisfied the chimney on the west side of the original lodge house shall be rebuilt prior to occupation of the application property, in accordance with a schedule and drawings to be submitted to, at the same time as the structural report, and approved in writing by the planning authority.

Reasons for conditions 2-6: *To safeguard the character of the listed building and the character and appearance of this part of the Eskbank and Ironmills Conservation Area.*

7. No development shall take place at the application site until the applicant or their successor has undertaken and reported upon a programme of archaeological (Historic Building Recording) work in accordance with a written scheme of investigation which has been submitted to and approved in writing by the planning authority

Reason: *To ensure a proper archaeological evaluation of the*

site, which is of potential archaeological interest, and that adequate measures are in place to record any archaeological finds.

- 9.2 That listed building consent (23/00821/LBC) be granted for the following reason:

The proposals will not detract from the character, appearance or setting of this listed building. The proposals comply with the aims of Historic Environment Scotland's Policy Statement, Historic Environment Scotland's Managing Change in the Historic Environment Guidance Notes, and policy 7 of NPF4 and policy ENV22 of the Midlothian Local Development Plan 2017.

Subject to the following conditions:

1. Details of the colour of the render proposed on the external walls of the existing building and store shall be submitted to the planning authority and the render shall not be applied until this detail has been approved in writing by the planning authority.
2. The store building shall be rendered at the same time as the new render is applied to the original house.
3. The colour of the proposed timber cladding on the external walls of the extension shall be as per the details contained in the e-mail from holstead lukas dated 1 March 2024.
4. A sample of the slate proposed on the roof of the existing building shall be provided on site and the slate shall not be installed on the roof until this detail has been approved in writing by the planning authority.
5. The existing chimney on the west side of the original lodge house shall not be removed unless a structural report demonstrating that it is necessary for it to be removed on health and safety grounds has been submitted to and approved in writing by the planning authority.
6. In the event that condition 5 is satisfied the chimney on the west side of the original lodge house shall be rebuilt prior to occupation of the application property, in accordance with a schedule and drawings to be submitted to, at the same time as the structural report, and approved in writing by the planning authority.
7. The new internal doors shall be timber.

Reasons for conditions 1-7: To safeguard the character of the listed building.

Peter Arnsdorf
Planning, Sustainable Growth and Investment Manager

Date: 31 August 2024

Application No: 23/00600/DPP and 23/00821/LBC (available online)

Applicant: Mr Zahid Iqbal

Agent: hLp Architecture

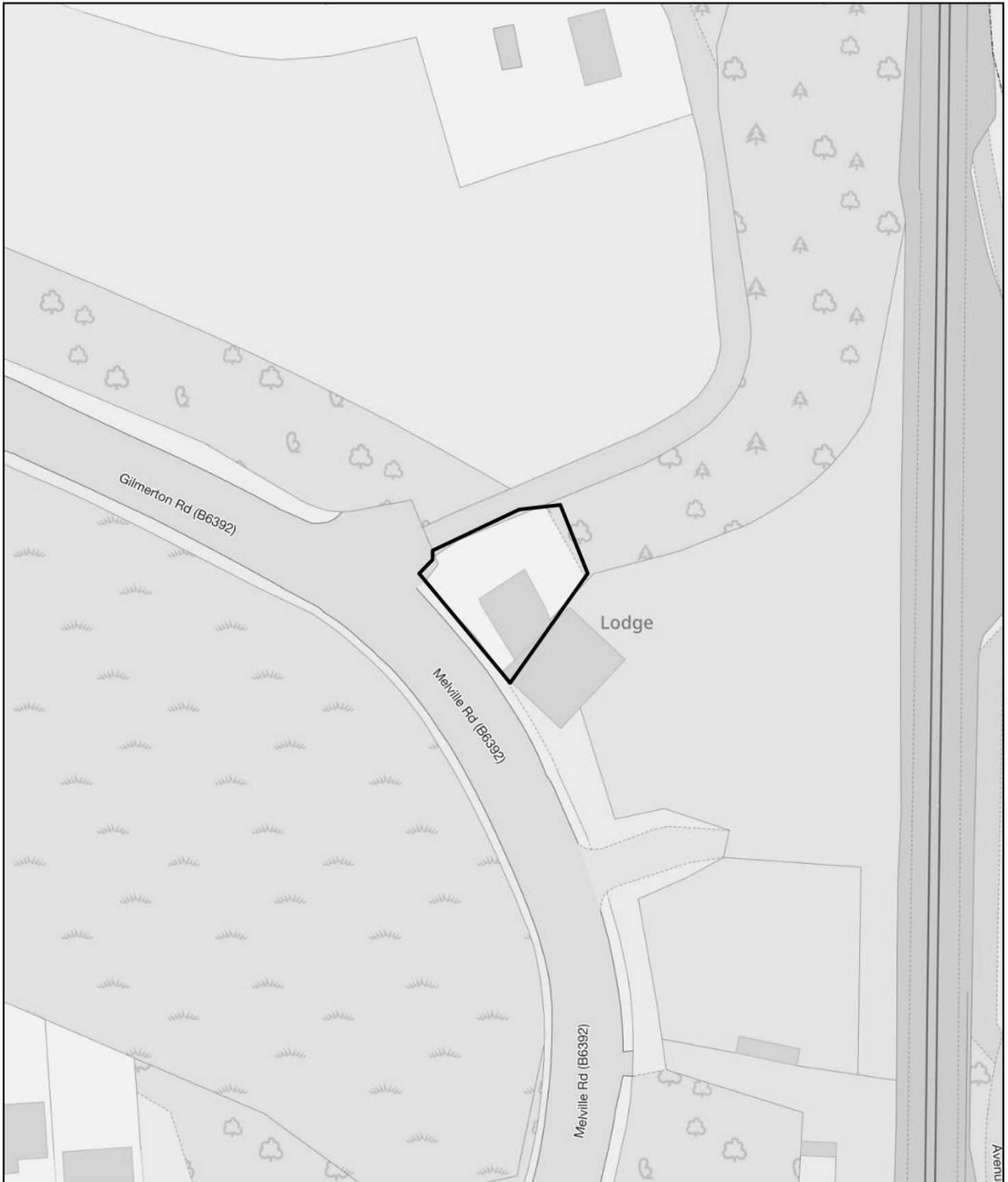
Validation Date: 21 September 2023 and 21 December 2023

Contact Person: Ingrid Forteath

Email: ingrid.forteath@midlothian.gov.uk

Background Papers: 21/00746/DPP (available online)

Attached Plans: Location plan, site plan and elevation plans



**Planning Service
Place Directorate**
Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
EH22 3AA

Extension to dwellinghouse; installation of replacement windows, doors and rain water goods; re slating of roof; re render existing dwellinghouse; installation of air source heat pump; and formation of areas of hard standing at Glenarch Lodge, Melville road, Dalkeith

Reproduced from the Ordnance Survey map with the permission of the controller of Her Majesty's Stationary Office. Crown copyright reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings

Midlothian Council Licence No. AC0000811376 (2024)

File Nos.: 23/00600/DPP and 23/00821/LBC

Scale:1:750



Notes

- Contractors not to scale from this drawing
- All dimensions to be taken on site prior to manufacture or ordering of any materials or components as they may differ from what is shown
- These drawings are not to be used as construction drawings without prior agreement with HLP Architecture
- Dimensions notified on this drawing may vary due to existing site conditions or changes in the design. It is the responsibility of the client to proceed where dimension adjustment is required.

Natural stone retaining wall

Felt flat roof - fire and water damaged

Chimney stack - visibly leaning, risk of collapse

Slate roof - severely damaged and risk of collapse

Timber sash and case windows weather and fire damaged
Conc. stooled cills

White smooth render

EXISTING WEST ELEVATION @ 1:50

Slate roof - severely damaged and risk of collapse

White smooth render

Ply sheathing - doors removed

Log store

EXISTING EAST ELEVATION @ 1:50

Chimney stack - visibly leaning, risk of collapse

Slate roof - severely damaged and risk of collapse

White smooth render

EXISTING NORTH ELEVATION @ 1:50

EXISTING SITE PLAN @ 1:200

PROPERTY IS FIRE DAMAGED AND UNSAFE TO SURVEY INTERNALLY. INTERNAL WALLS ARE APPROX LOCATIONS

BEDROOM

LOUNGE

KITCHEN

BATHROOM

BEDROOM

MH

ALL DOORS AND WINDOWS BLANKED OVER WITH PLYWOOD SHEATHING

LOG STORE

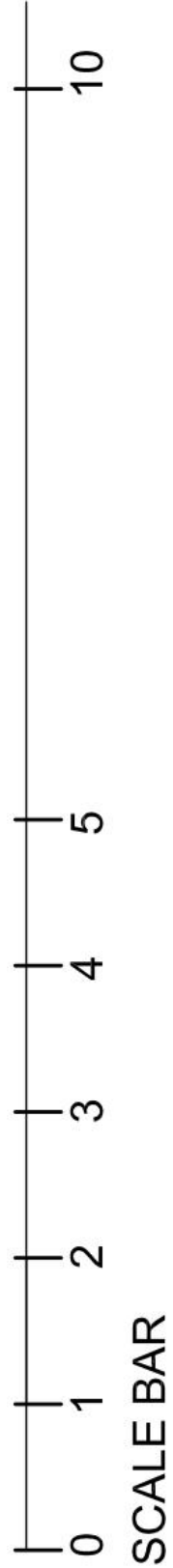
RWP

SVP

UPPER PATIO

OUTBUILDING

EXISTING GROUND FLOOR PLAN @ 1:50



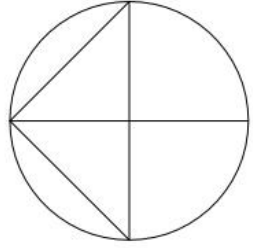
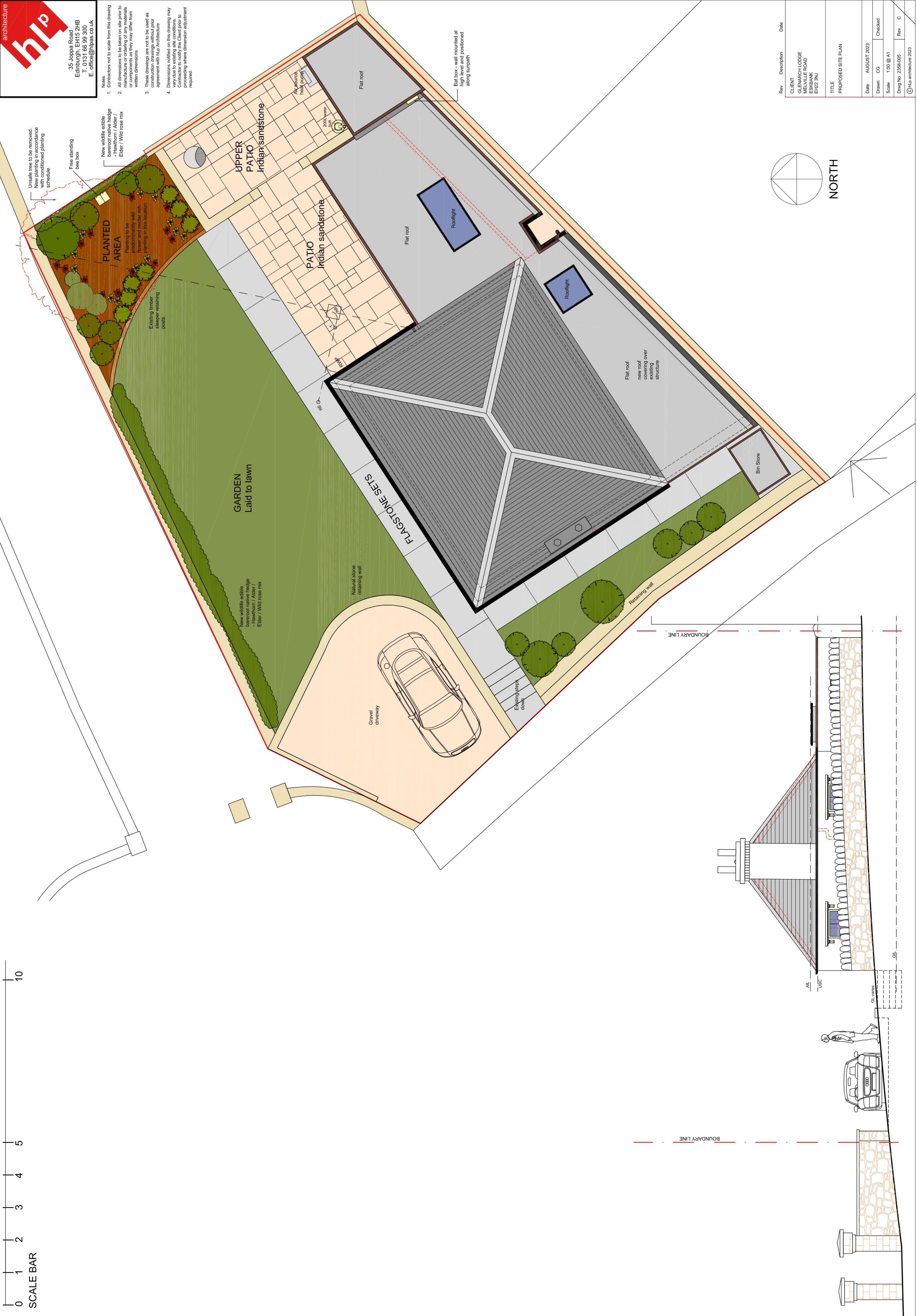
EXISTING STREET VIEW (WEST ELEVATION) @ 1:50

Rev	Description	Date
CLIENT	GLENMARCH LODGE	
	MELVILLE ROAD,	
	ESKIBANK	
	EH15 2JU	

TITLE
EXISTING SITE PLAN
EXISTING GROUND FLOOR PLAN
EXISTING ELEVATIONS

Date	AUGUST 2023		
Drawn	CG	Checked	
Scale	AS STATED @ A1		
Dwg No	2358-002	Rev	A

- Notes
- Contractors not to scale from this drawing
 - All dimensions to be taken on site prior to manufacture or ordering of any materials or components as they may differ from written dimensions
 - These drawings are not to be used as construction drawings without prior agreement with HLP Architecture
 - Dimensions notified on this drawing may vary due to existing site conditions. Contractors are advised to check all dimensions on site prior to proceeding where dimension adjustment required.



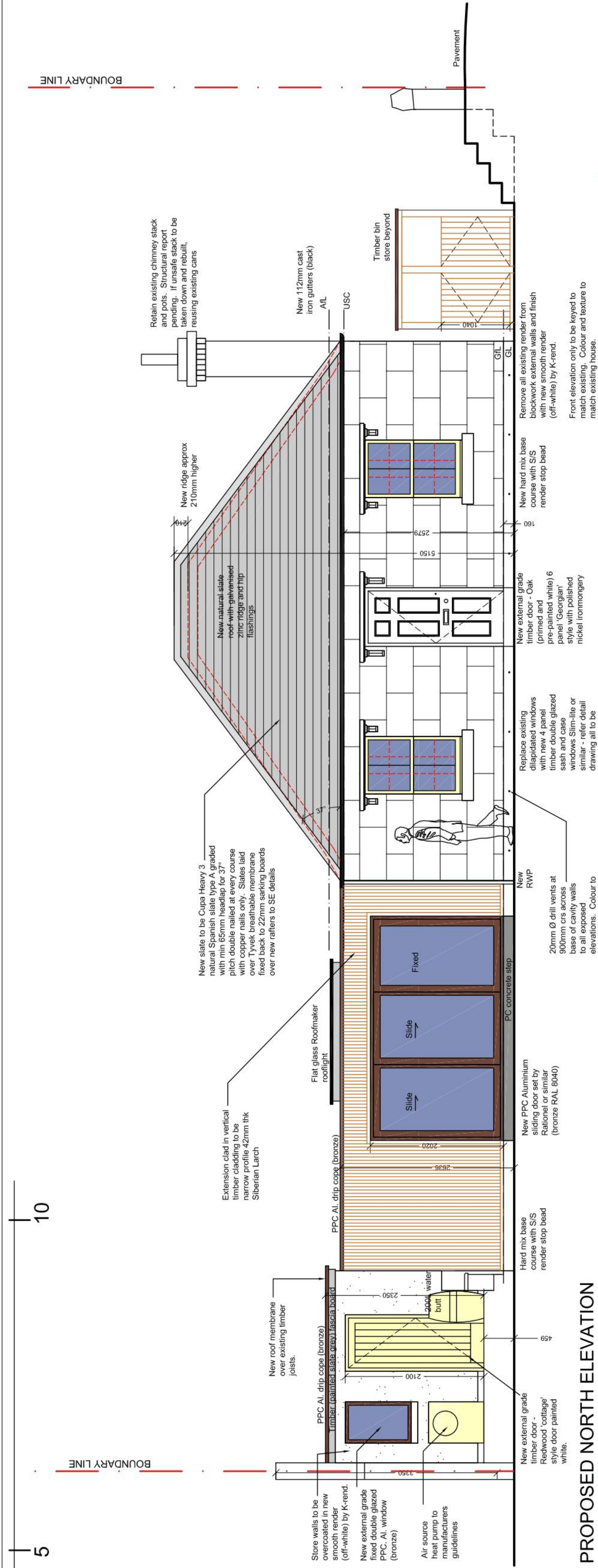
NORTH

Rev	Description	Date
CLIENT	GLENMARCH LODGE	
	MELVILLE ROAD	
	ESKDAWK	
	EH22 3JN	
TITLE		
PROPOSED SITE PLAN		
Date	AUGUST 2023	
Drawn	CG	Checked
Scale	1:50 @ A1	
Dwg No	2359-005	Rev C
©HLP architecture 2023		

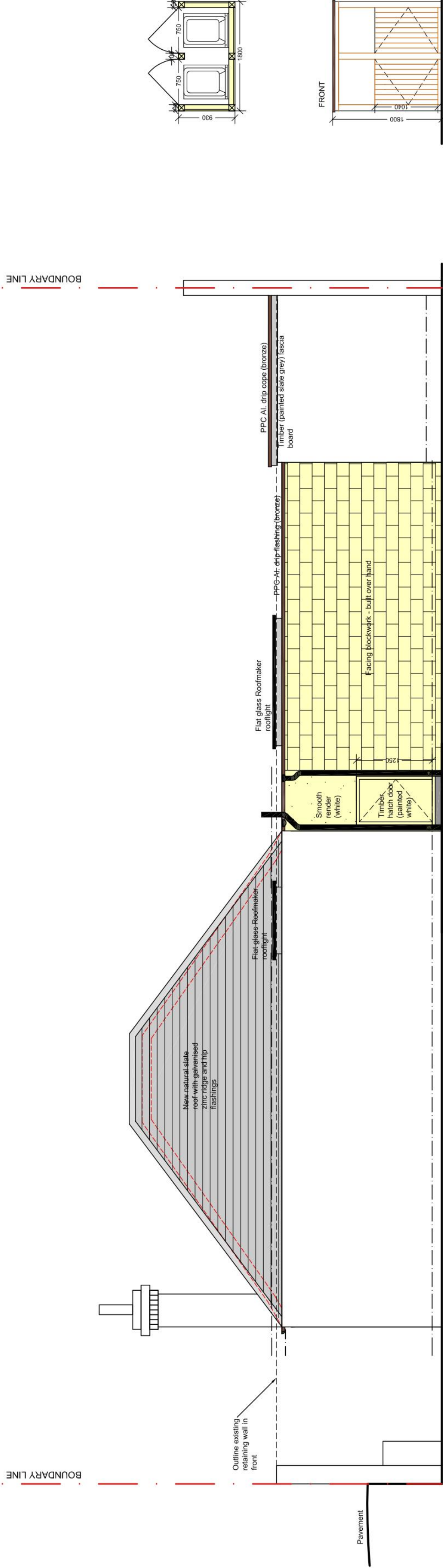
35 Joppa Road
Edinburgh, EH15 2HB
T. 0131 66 99 300
E. office@hlpas.co.uk

Notes

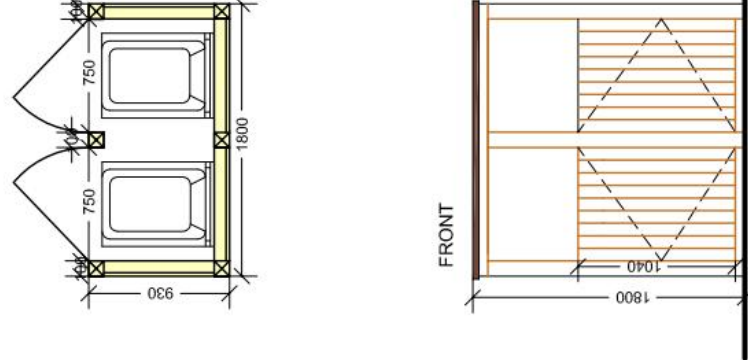
1. Contractors not to scale from this drawing
2. All dimensions to be taken on site prior to manufacture or ordering of any materials or components as they may differ from written dimensions
3. These drawings are not to be used as construction drawings without prior agreement with HLP Architecture
4. Dimensions notified on this drawing may vary due to existing site conditions. Contractor to notify the Client prior to proceeding where dimension adjustment required.



PROPOSED NORTH ELEVATION

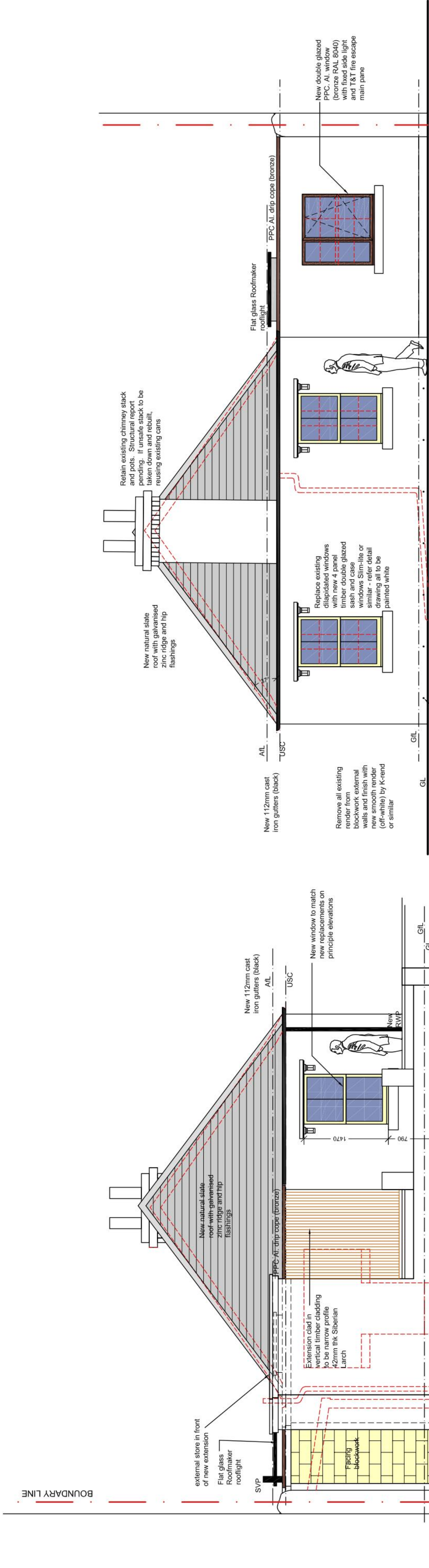


PROPOSED SOUTH ELEVATION



reduced height
able doors in larch
adding and diagonal

BIN STORE PROPOSED PLAN AND ELEVATIONS



PROPOSED EAST ELEVATION

PROPOSED WEST ELEVATION

Rev	Description	Date
CLIENT		
GLENMARCH LODGE		
MELVILLE ROAD		
ES/G/ANK		
EH22 3NJ		
TITLE		
PROPOSED ELEVATIONS		
BIN STORE ELEVATIONS		
Date	August 2023	Checked
Drawn	CG	
Scale	1:50 @ A1	
Draw No	2358-004	Rev D
©HJA architecture 2023		