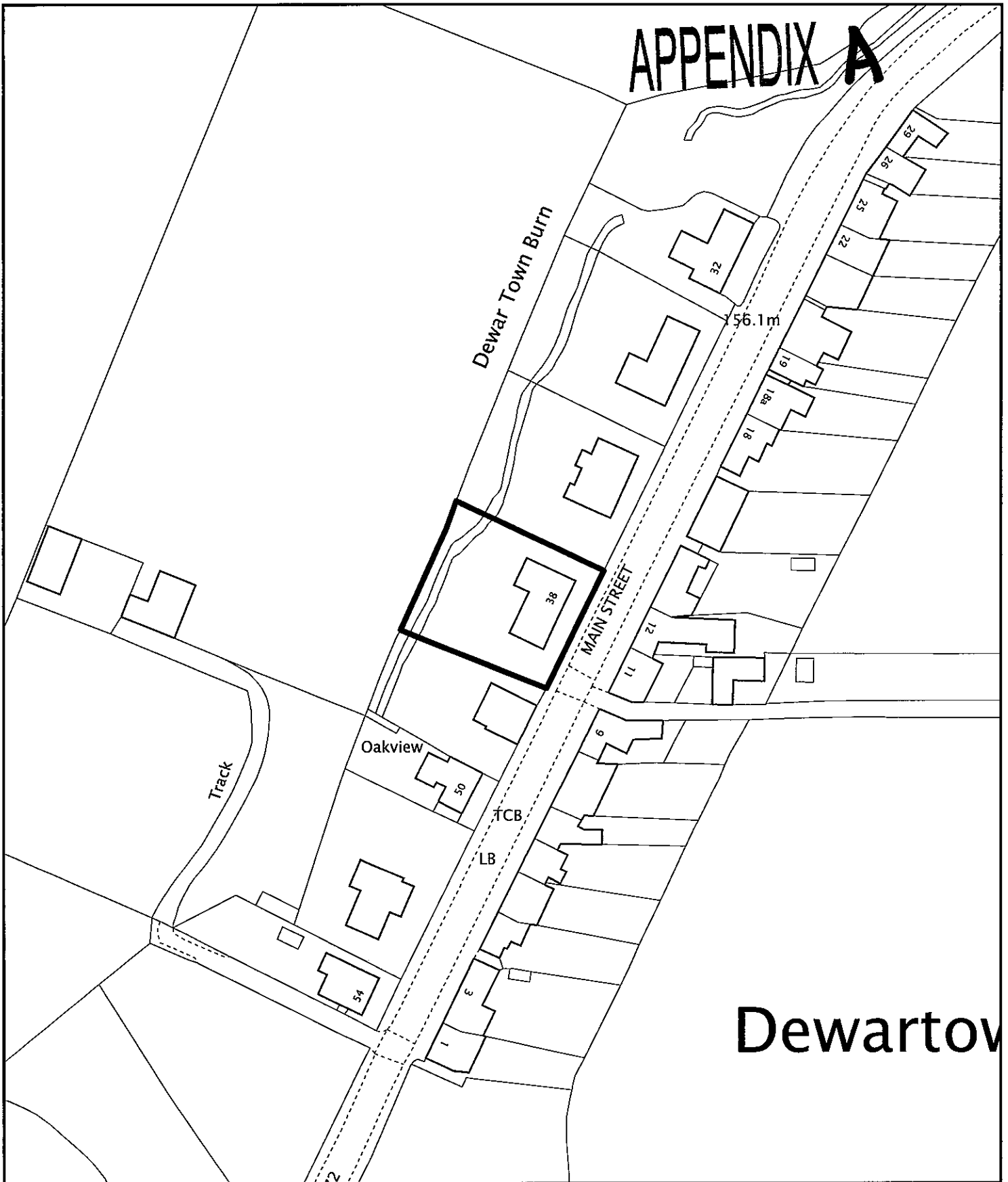


APPENDIX A



Dewartov



Corporate Resources
Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith EH22 3ZQ

Installation of replacement windows at 38 Dewartown,
Gorebridge

Reproduced from the Ordnance Survey map with the permission of the controller of Her Majesty's Stationary Office. Crown copyright reserved. Unauthorised reproduction infringes Crown copyright and may lead to prosecution or civil proceedings

File No. 12/00792/DPP

Midlothian Council Licence No. 100023416 (2013)

Scale: 1:1,250



APPENDIX B

NOTICE OF REVIEW

Under Section 43A(8) Of the Town and Country Planning (SCOTLAND) ACT 1997 (As amended) In Respect of Decisions on Local Developments

The Town and Country Planning (Schemes Delegation and Local Review Procedure) (SCOTLAND) Regulations 2008

The Town and Country Planning (Appeals) (SCOTLAND) Regulations 2008

IMPORTANT: Please read and follow the guidance notes provided when completing this form. Failure to supply all the relevant information could invalidate your notice of review.

PLEASE NOTE IT IS FASTER AND SIMPLER TO SUBMIT PLANNING APPLICATIONS ELECTRONICALLY VIA <https://eplanning.scotland.gov.uk>

1. Applicant's Details		2. Agent's Details (if any)	
Title	Mr	Ref No.	12/00792/DPP
Forename	james	Forename	
Surname	ferguson	Surname	
Company Name		Company Name	Job worth Doing % Arkiplan Ltd
Building No./Name	38	Building No./Name	28
Address Line 1	Dewartown	Address Line 1	Grahamsdyke Place
Address Line 2		Address Line 2	
Town/City	Midlothian	Town/City	Boness, West Lothian
Postcode	EH23 4NX	Postcode	EH51 9QZ
Telephone		Telephone	
Mobile		Mobile	
Fax		Fax	
Email		Email	
3. Application Details			
Planning authority	Midlothian Council		
Planning authority's application reference number	12/00792/DPP		
Site address	38 Dewartown, Gorebridge, Midlothian, EH23 4NX		
	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p>CORPORATE RESOURCES</p> <p>FILE: 12/00792/DPP</p> <p>REC'D: 16 APR 2013</p> </div>		
Description of proposed development	Installation of Replacement Windows		

Date of application

Date of decision (if any)

Note. This notice must be served on the planning authority within three months of the date of decision notice or from the date of expiry of the period allowed for determining the application.

4. Nature of Application

- Application for planning permission (including householder application)
- Application for planning permission in principle
- Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission and/or modification, variation or removal of a planning condition)
- Application for approval of matters specified in conditions

5. Reasons for seeking review

- Refusal of application by appointed officer
- Failure by appointed officer to determine the application within the period allowed for determination of the application
- Conditions imposed on consent by appointed officer

6. Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- Further written submissions
- One or more hearing sessions
- Site inspection
- Assessment of review documents only, with no further procedure

If you have marked either of the first 2 options, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing necessary.

7. Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- Can the site be viewed entirely from public land?
- Is it possible for the site to be accessed safely, and without barriers to entry?

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

8. Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. **Note:** you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

The appeal is submitted for the following two Reasons.

1. The UPVC windows applied for are the same in colour and design of the existing timber windows. There would be no visual impact to the village of Dewartown as the manufacturing of the windows would alleviate any visual impact and would not detract from the character and appearance of the conservation area. There is currently mixed material windows installed within the village of dewartown.

2. Midlothian Council Planning department have failed to enforce and manage the Conservation Areas of Midlothian. The following conservation areas of Midlothian also have mixed material windows and doors.

Pathhead Main Street

Dewartown

Newlandrigg new build with UPVC windows

Edgehead

Whitehill new builds contrast existing buildings

Eskbank

Gorebridge

Midlothian Council have failed to actively enforce RP20 and RP22 thus allowing for the inatallation of mixed material windows

Have you raised any matters which were not before the appointed officer at the time your application was determined? Yes No

If yes, please explain below a) why your are raising new material b) why it was not raised with the appointed officer before your application was determined and c) why you believe it should now be considered with your review.

9. List of Documents and Evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

10. Checklist

Please mark the appropriate boxes to confirm that you have provided all supporting documents and evidence relevant to your review:

Full completion of all parts of this form

Statement of your reasons for requesting a review

All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

DECLARATION

I, the applicant/agent hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents. I hereby confirm that the information given in this form is true and accurate to the best of my knowledge.

Signature



Name:

JAMES AB FERGUSON

Date:

14.4.2013

Any personal data that you have been asked to provide on this form will be held and processed in accordance with the requirements of the 1998 Data Protection Act.

MIDLOTHIAN COUNCIL

DEVELOPMENT MANAGEMENT PLANNING APPLICATION DELEGATED WORKSHEET:

Case Officer: Victoria Famelton

Site Visit Date: 14/12/2012

Planning Application Reference: 12/00792/DPP

Site Address: 38 Dewartown, Gorebridge, Midlothian, EH23 4NX

Site Description: The application site comprises a detached single storey house located within Dewartown Conservation Area. It is finished externally with a white wet dash render, red pantile roof, brown timber windows and cream painted window surrounds. There is an existing detached garage to the side of the property and the property is bounded by a 1.4 metre high timber fence at the rear. The property also features an existing conservatory and solar panels (Application Reference 12/00447/DPP) on the rear elevation. Trees and hedges bound the property and are a prominent feature throughout the site.

Proposed Development: Installation of replacement windows

Proposed Development Details: It is proposed to replace all seven existing brown timber windows on the principal elevation, one window on the lower ground floor south side elevation and one window on the rear elevation. These will be replaced with rosewood uPVC and the style will be identical to the windows that they intend to replace.

Background (Previous Applications, Supporting Documents, Development Briefs):

12/00447/DPP

38 Dewartown, Gorebridge, Midlothian, EH23 4NX

Installation of solar panels

Case Officer: Victoria Famelton

Decision: PER

Consultations: No consultations were required

Representations: No representations were received

Relevant Planning Policies:

Midlothian Local Plan 2008

RP20 – Development within the Built-Up Area

RP22 – Conservation Areas

Planning Issues: The main planning issue to be considered is whether or not the proposal complies with the development plan policies and, if not, whether there are any material planning considerations which would otherwise justify approval. The application site is located within an area covered by the Midlothian Local Plan.

Policy RP20 seeks to ensure that new development does not adversely impact on the existing character and amenity of the area. Policy RP22 seeks to protect the character and appearance of the conservation area.

On the west side of the main road through Dewartown there are three other cottages that are similar in design to the application property. All four properties were built in the early 1990s. The application property was granted permission on 11 December 1992 (Application Reference 506/92). As part of the permission, condition 3 of the consent required that *'all windows on the house hereby approved shall be of timber sash and case sliding construction'*. This condition was required in the interests of the visual amenity of the Dewartown Conservation Area. The planning authority took great care to ensure that although the house would be new it would be finished in traditional materials which would be appropriate to its position within the conservation area. The applicant is now seeking permission to replace the traditional timber frames with non-traditional plastic frames.

Dewartown is characterised by a variety of property types with differing window styles, colours and method of opening. However there are a number of unifying factors which contribute to the character of the conservation area. The eastern side of Dewartown is typically characterised by traditional single storey stone-built cottages, with only three exceptions to this where the buildings extend to two storeys in height. The buildings on this side of the street are erected gable-to-gable, with only one gap between the properties, which provides access to a nearby farm. On the western side of the road the properties are also single storey, but they are detached. Most of the properties on this side of the road are newer.

The majority of properties in Dewartown have timber framed windows. Very few properties within Dewartown feature uPVC windows on the front elevation. However, despite these few properties having plastic windows there is no record of planning permission having been granted for these.

Plastic is not a traditional, vernacular material and is not usually suitable for use in conservation areas, where there tends to be a higher percentage of historic buildings. Plastic windows can have an unduly bulky appearance and are often crudely detailed. Plastic windows can also have a more glossy appearance than timber frames. Therefore the installation of plastic windows on the front elevation of this prominent building within the conservation area would not be acceptable.

Given that the planning authority has not previously approved uPVC framed windows on the principal elevation of houses within the Dewartown Conservation Area, the granting of this planning permission could set an undesirable precedent leading to other properties requesting similar windows, which would be to the detriment of the character and appearance of the area. Therefore, the installation of uPVC windows on the principal elevation is unacceptable owing to the detrimental impact upon the character and appearance of Dewartown Conservation Area.

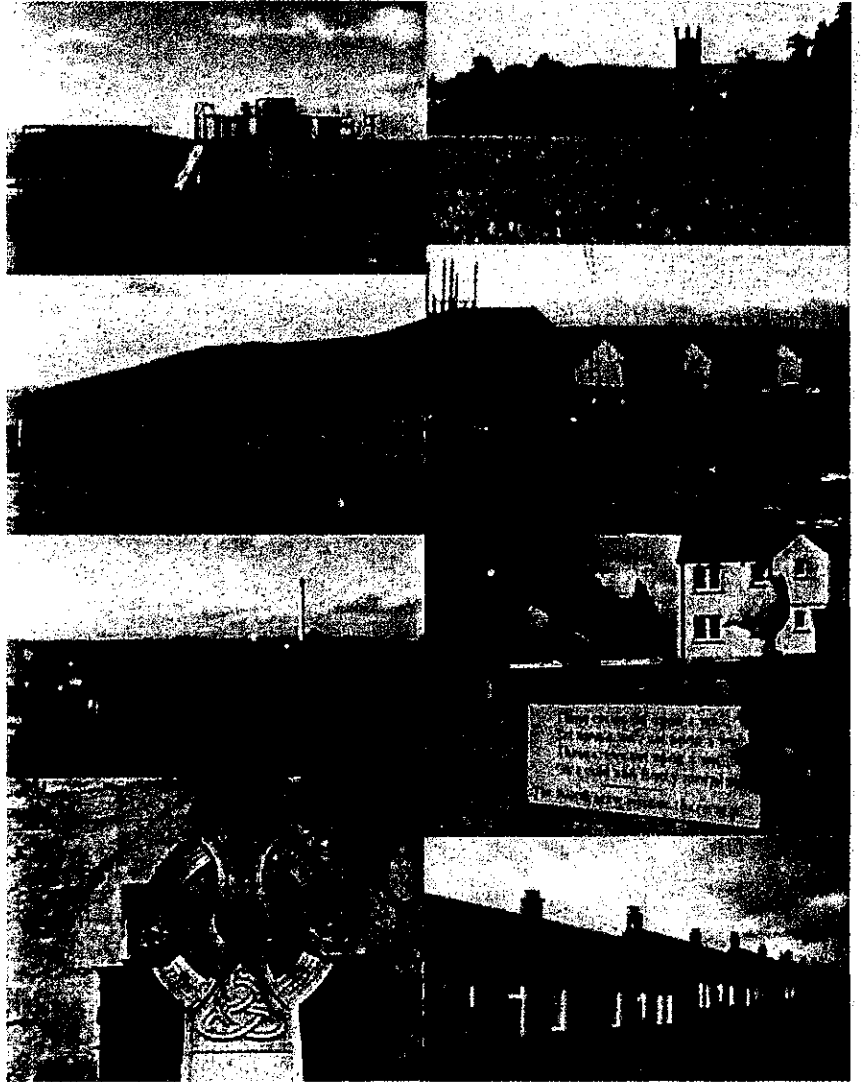
Given the above, the proposed installation of replacement windows does not comply with Policies RP20 and RP22 of the Midlothian Local Plan 2008.

Recommendation: It is recommended that planning permission be refused with the following conditions:

1. The installation of uPVC glazing units on the front elevation of 38 Dewartown will be detrimental to the character and appearance of the building, the surrounding area and Dewartown Conservation Area. The proposal is therefore contrary to Policies RP20 and RP22 of the Midlothian Local Plan 2008 which seeks to protect the character and amenity of the built-up area and that of Conservation Areas
2. Should approval be given to the proposed replacement windows it would be difficult to resist the installation of uPVC glazing units in surrounding properties. The cumulative effect of such development would degrade the visual quality of the surrounding area contrary to policies RP20 and RP22 of the Midlothian Local Plan 2008, which seek to protect the character and amenity of the built-up area and that of the Conservation Areas.

APPENDIX D

Midlothian Local Plan



Midlothian



Midlothian Local Plan

ADOPTED BY RESOLUTION OF
MIDLOTHIAN COUNCIL
ON 23 DECEMBER 2008

This Plan has been produced by the
Planning Unit Strategic Services

Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
Midlothian
EH22 3ZN

2.2 The Built Heritage

Policy Title

RP20 DEVELOPMENT WITHIN THE BUILT-UP AREA

2.2.1 National Planning Policy National policy as set out in SPP 1 *The Planning System* states that one of the three general objectives of development plans and development control is “to maintain and enhance the quality of the natural heritage and built environment”. In addition, the importance of good design is highlighted as a priority for the planning system, given that “mistakes cannot be easily or cheaply rectified”.

2.2.2 SPP 3 Planning for Housing (now replaced by SPP 3 *Planning for Homes* – see para. 3.2.6) encourages the full and effective use of land within existing built areas, giving priority to reusing derelict and vacant land. However, it also requires that “infill development respects the scale, form and density of its surroundings and enhances rather than detracts from the character and amenity of existing residential areas”. It indicates that this should be an important consideration for planning authorities when preparing development plans and in determining applications, and for developers when preparing proposals.

2.2.3 Structure Plan Policy The ELSP 2015 recognises the importance of protecting and

enhancing the amenity of all urban areas to safeguard and improve the quality of life of residents of the Lothians. Policy ENV1G requires local plans, in encouraging the development of infill sites, the redevelopment of brownfield land and the conversion of existing buildings, to promote a high quality of design in all new development.

2.2.4 Local Plan Policy Midlothian is not characterised by large areas of brownfield land ripe for redevelopment. It follows therefore that the main areas of new development will be on greenfield sites on the edge of the built-up areas. There will, however, be opportunities for new development within the existing urban areas, including conversion, intensification, infill or redevelopment.

2.2.5 Policy RP20 applies to the existing built-up area of all towns and villages, and the areas of new housing allocations. The Local Plan Proposals Map defines the urban boundaries of the main settlements and also identifies village envelopes. The purpose of the policy is to ensure that new development does not damage or blight land uses which are already established in the neighbourhood, particularly where residential amenity will be affected. Sections 3.7 and 4 contain guidance with regards to wind turbines (policies NRG1 and NRG2), energy for buildings (policy NRG3), the form and layout of development on greenfield sites (policy DP2), extensions to existing housing (policy DP6) and control over advertising (policy DP8), which may be relevant to proposals for development within the built-up area.

RP20 DEVELOPMENT WITHIN THE BUILT-UP AREA

Development will not be permitted within existing and future built-up areas, and in particular within residential areas, where it is likely to detract materially from the existing character or amenity of the area.

Policy and Proposal Titles

RP22 CONSERVATION AREAS**RP23 CONSERVATION AREAS – AMENDMENTS (PROPOSAL)****RP24 LISTED BUILDINGS**

2.2.9 National Planning Policy Special controls in respect of buildings and areas of special architectural or historic interest are brought into force under the Planning (Listed Buildings and Conservation Areas) (Scotland) Act 1997. Under this Act, the Scottish Ministers are required to compile a list of buildings of special architectural or historical interest (listed buildings). Local authorities are required to determine if there are areas of special architectural or historic interest (conservation areas) and if so, to designate these. Both are afforded additional protection through development plan policies seeking to preserve and enhance their character and appearance whilst taking into account that such areas must function successfully as places for social and economic activity. Guidance is set out in NPPG 18 *Planning and the Historic Environment* and in Historic Scotland's *Memorandum of Guidance on Listed Buildings and Conservation Areas*.

2.2.10 Structure Plan Policy Strategic policy takes on board conservation objectives in conservation areas, and in urban areas generally, and supports the conservation of all listed buildings. ELSP policies ENV1 and ENV10 require that policies for maintaining and enhancing conservation areas, and protecting all listed buildings and their settings, are contained in local plans.

2.2.11 Local Plan Policy Midlothian's towns and villages have many historically and architecturally interesting areas and individual buildings of special architectural or historic interest. These contribute to the distinctive character of the urban and rural environment and to the quality of life in Midlothian generally. As part of our heritage, they are valuable for education, recreation and tourism.

2.2.12 Conservation area and listed building status does not mean that development, including new building and alterations to existing buildings, is necessarily opposed. Development proposals must be of an appropriate character, scale and appearance. Consideration requires to be given to opportunities for the preservation and enhancement of these important areas. Policies RP22 and RP24 set out the requirements where new development is proposed in conservation areas, or affecting listed buildings,

and identify where there is scope for enhancing any special qualities.

2.2.13 Minor changes to properties, which normally would not require planning consent, could erode the character and appearance of a conservation area. In Midlothian's Conservation Areas, the Council has put in place Article 4 Direction Orders to remove permitted development rights in order to ensure control over all changes. Requirements specific to individual Conservation Areas (Newtongrange, Broomieknowe and Lasswade & Kevock) are contained in detailed policy DP5. Supplementary planning guidance specific to other Conservation Areas may be approved during the lifetime of the Plan. Work is currently in progress to prepare Conservation Area appraisals for all of Midlothian's Conservation Areas and, when approved as supplementary planning guidance, these will assist with planning decisions relating to development proposals and also help to guide any future enhancement schemes. Conservation Area appraisals and any subsequent enhancement schemes will be the subject of consultation with appropriate organisations including community groups.

2.2.14 There are twenty designated Conservation Areas in Midlothian, three of which are classified as outstanding for grant purposes. Defined on the Local Plan Proposals Map, their locations are: Borthwick & Crichton (outstanding), Broomieknowe, Carrington, Dalkeith (outstanding), Dewartown, Edgehead, Eskbank & Ironmills, Fala, Fala Dam, Gorebridge, Howgate, Lasswade & Kevock, Mavisbank (outstanding), Newbattle, Newlandrig, Newtongrange, Pathhead & Ford, Penicuik, Roslin, and Temple & Arniston. The Local Plan makes provision for the designation of a new Dalhousie Conservation Area, the boundary for which is shown on the Local Plan Proposals Map. In addition, amendments are to be made to the boundaries of the Lasswade & Kevock, Mavisbank and Penicuik Conservation Areas (policy RP23) to ensure that they better reflect the architectural and historic significance of these areas. Statutory procedures are required to implement these proposals, and to update the Article 4 Direction Orders applicable within the Conservation Areas.

2.2.15 In conjunction with the Dalkeith town centre regeneration project, the Council is proposing a Townscape Heritage Initiative within the Dalkeith Conservation Area. This is a Heritage Lottery-funded grant initiative which supports schemes led by partnerships of local, regional and national interests that aim to regenerate the historic parts of their towns and cities. The proposed project focuses on:

- ❖ protecting the historic/architectural fabric of Dalkeith;
- ❖ enhancing the Conservation Area and improving the quality of the public realm;
- ❖ encouraging additional investment in the social and economic infrastructure of Dalkeith, including the reuse of historic buildings; and
- ❖ promoting greater awareness of conservation and the historic environment.

The initiative seeks to involve all sections of the local community in the project and has attracted initial support from the local business community. The Council will seek developer contributions from the proposal HOUS1 sites in Dalkeith as part of the project partnership (refer to policy IMP3).

RP22 CONSERVATION AREAS

Within or adjacent to a Conservation Area, development will not be permitted which would have any adverse effect on its character and appearance.

New Buildings, Extensions and Alterations

In the selection of site, scale, choice of materials and details of design, it will be ensured that new buildings, and extensions and alterations to existing buildings, preserve or enhance the character and appearance of the Conservation Area. Traditional natural materials appropriate to the locality or building affected will be used in new buildings, extensions or alterations. Particular care in the design of replacement windows and doors will be required on the public frontage of buildings.

Demolition

- A.** Demolition to facilitate new development of part or all of a building or other structure that makes a positive contribution to a Conservation Area will only be permitted where it can be shown that:
- ❖ the structural condition of the building is such that it cannot be adapted without material loss to its character to accommodate the proposal; and
 - ❖ the Conservation Area will be enhanced as a result of the redevelopment of the site; and
 - ❖ there is no alternative location physically capable of accommodating the proposed development.
- B.** Where demolition of any building or other structure within a Conservation Area is proposed, it must be demonstrated that there are acceptable proposals for the immediate future use of the site which enhance the character or appearance of the Conservation Area.

Detailed plans for an acceptable replacement building must be in receipt of planning permission before conservation area consent will be granted for demolition and redevelopment. Conditions will be applied to the planning permission to ensure that demolition does not take place in advance of the letting of a contract for the carrying out of a replacement building or alternative means of treating the cleared site having been agreed.

These requirements may not apply in circumstances where the building is of no architectural or historic value, makes no material contribution to the Conservation Area, and where its early removal would not detract from the character and appearance of the Conservation Area.

Reg. No. 12/00792/DPP

Job Worth Doing c/o Arkiplan Limited
28 Grahamsdyke Place
Bo'ness
West Lothian
EH51 9QZ

Midlothian Council, as Planning Authority, having considered the application by Mr J Ferguson, 3 Dewartown, Gorebridge, EH23 4NX, which was registered on 3 December 2012 in pursuance of their powers under the above Acts, hereby **refuse** permission to carry out the following proposed development:

Installation of replacement windows at 38 Dewartown, Gorebridge, EH23 4NX

In accordance with the application and the following plans:

<u>Drawing Description.</u>	<u>Drawing No/Scale</u>	<u>Dated</u>
Site plan, location plan and elevations	F94178 1:1250/1:100/1:20	03.12.2012
Window Images		03.12.2012
Window Mechanism		03.12.2012

The reasons for the Council's decision are set out below:

- 1. The installation of uPVC glazing units on the front elevation of 38 Dewartown will be detrimental to the character and appearance of the building, the surrounding area and Dewartown Conservation Area. The proposal is therefore contrary to policies RP20 and RP22 of the Midlothian Local Plan 2008 which seeks to protect the character and amenity of the built-up area and that of Conservation Areas.*
- 2. Should approval be given to the proposed replacement windows it would be difficult to resist the installation of uPVC glazing units in surrounding properties. The cumulative effect of such development would degrade the visual quality of the surrounding area contrary to policies RP20 and RP22 of the Midlothian Local Plan 2008, which seek to protect the character and amenity of the built-up area and that of the Conservation Areas.*

Dated 1 / 2 / 2013



.....
Duncan Robertson
Senior Planning Officer; Local Developments,
Fairfield House, 8 Lothian Road, Dalkeith, EH22 3ZN

PLEASE NOTE

If the applicant is aggrieved by the decision of the planning authority to refuse permission for or approval required by a condition in respect of the proposed development, or to grant permission or approval subject to conditions, the applicant may require the planning authority to review the case under section 43A of the Town & Country Planning (Scotland) Act 1997 within 3 months from the date of this notice. The notice of review should be addressed to The Development Manager, Development Management Section, Midlothian Council, Fairfield House, 8 Lothian Road, Dalkeith EH22 3ZN. A notice of review form is available from the same address and will also be made available online at www.midlothian.gov.uk

If permission to develop land is refused or granted subject to conditions and the owner of the land claims that the land has become incapable of reasonable beneficial use in its existing state and cannot be rendered capable of reasonably beneficial use by the carrying out of any development which has been or would be permitted, the owner of the land may serve on the planning authority a purchase notice requiring the purchase of the owner of the land's interest in the land in accordance with Part V of the Town and Country Planning (Scotland) Act 1997.

Prior to Commencement (Notice of Initiation of Development)

Prior to the development commencing the planning authority shall be notified in writing of the expected commencement of work date and once development on site has been completed the planning authority shall be notified of the completion of works date in writing. Failure to do so would be a breach of planning control under section 123(1) of the Town and Country Planning (Scotland) Act 1997 (as amended by the Planning etc (Scotland) Act 2006). A copy of the Notice of Initiation of Development is available on the Council's web site www.midlothian.gov.uk

IMPORTANT NOTE REGARDING PUBLIC ACCESS TO INFORMATION

Making an application

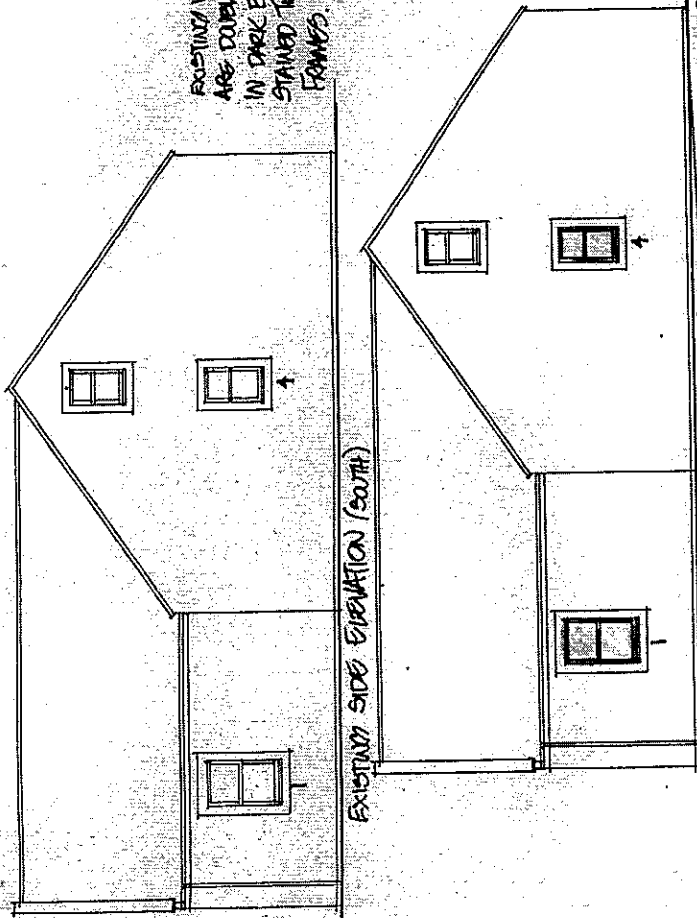
Please note that when you submit a planning application, the information will appear on the Planning Register and the completed forms and any associated documentation will also be published on the Council's website.

Making comment on an application

Please note that any information, consultation response, objection or supporting letters submitted in relation to a planning application, will be published on the Council's website.

The planning authority will redact personal information in accordance with its redaction policy and use its discretion to redact any comments or information it considers to be derogatory or offensive. However, it is important to note that the publishing of comments and views expressed in letters and reports submitted by applicants, consultees and representors on the Council's website, does not mean that the planning authority agrees or endorses these views, or confirms any statements of fact to be correct.

EXISTING WINDOWS
ARE DOUBLE GLAZED
IN DARK BROWN
STAINED WOOD
FRAMES



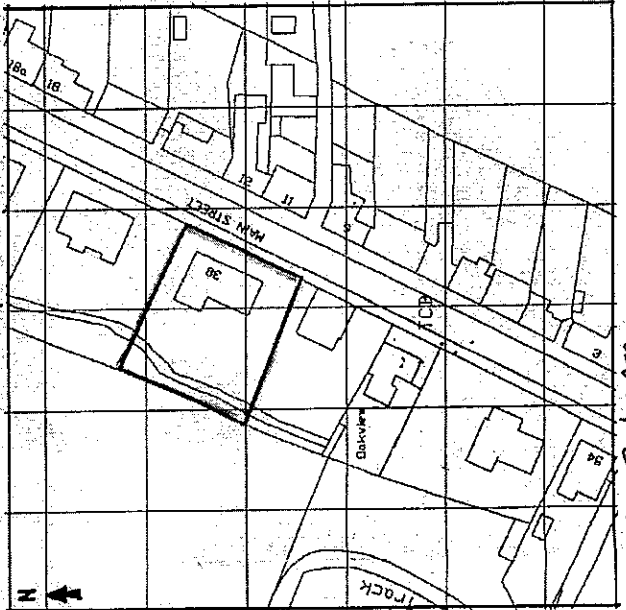
EXISTING SIDE ELEVATION (SOUTH)

CORPORATE RESOURCES
 FILE: 1200192 DPV
 RECEIVED - 3 DEC 2012

CLIENT: MR. J. FERGUSON
 370 VANDERLINDA
 GLENVIEW, ILL. 60045
 POSTCODE: 60045
 TELEPHONE: 630.582.0882
 PROJECT SPECIFICATION:
 REPLACEMENT OF 8 NO. EXISTING
 WINDOWS
 SCALE: 1/4" = 1'-0"
 DATE: 10/11/12
 CONTRACT NO: F-94179

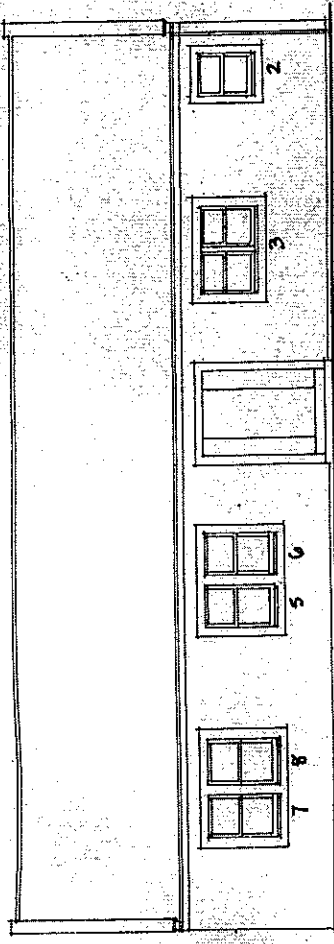


PROPOSED SIDE ELEVATION (SOUTH)

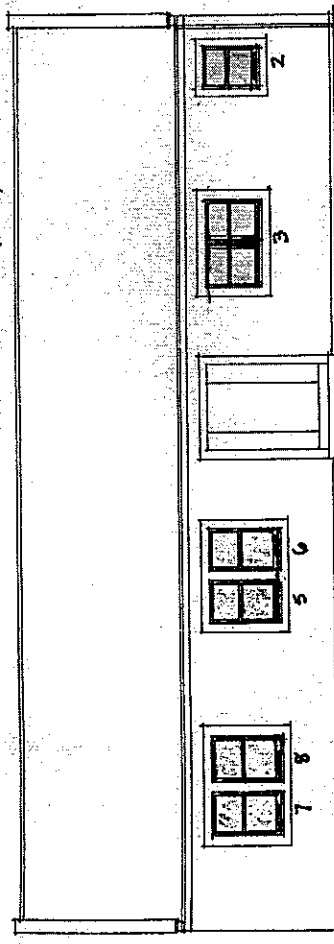


LOCATION PLAN 1:10250

SCALE: 1" = 20'-0"

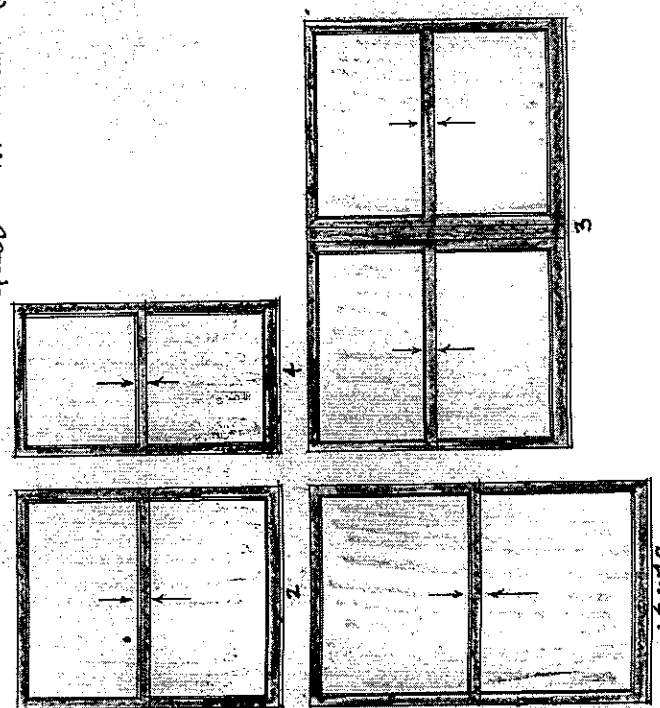


EXISTING FRONT ELEVATION (EAST)



PROPOSED FRONT ELEVATION (EAST)

PROPOSED WINDOWS
ARE DOUBLE GLAZED
IN ROSENBERG UPVC
FRAMES.



12/01/12

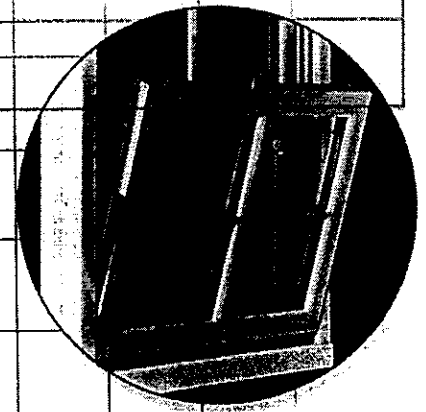
Sp

VS



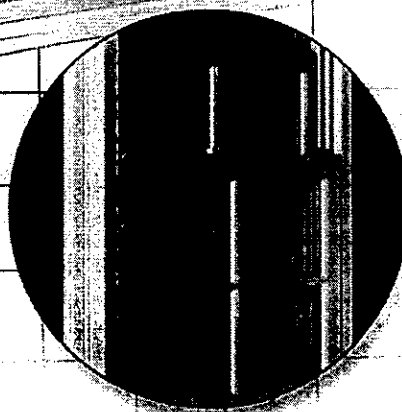
A NEW ERA IN PVC-U VERTICAL SLIDER SYSTEMS

CORPORATE TELEPHONES
FILE: 12100.1a2.DPM
RECEIVED - 3 DEC 2012



The Spectus VS is a new Vertical Slider System from Spectus.

The result of considerable investment and technical expertise, the Spectus VS has all the traditional benefits improved by modern technology.



Spectus
WINDOW SYSTEMS

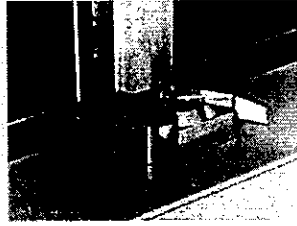
Spectus VS

THE SPECTUS VS IS PACKED WITH MANY ADVANCED FEATURES.

POST CO-EXTRUDED SASHES

for easier, quicker and more cost-effective fabrication.

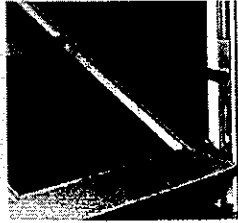
FLUSH GASKET DETAIL so less gasket is visible.



OVOLO DESIGN ON OUTER FRAME, CILL, SASH, BEAD AND STOP
giving an authentic sash window appearance.

PILE SEAL DETAIL ON SASH EDGES AND OUTER FRAME
providing excellent weathering performance.

LARGE AND SMALL SASH OPTIONS
giving equal Sightline on top and bottom sashes.

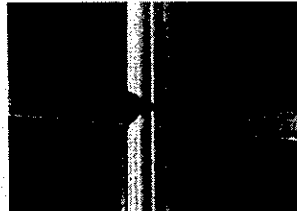
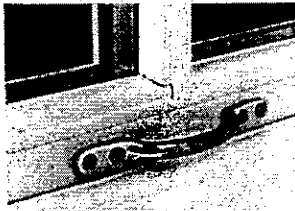


ALUMINIUM TOP SASH INTERLOCK
which increases the rigidity of larger windows.

DEEP BOTTOM RAIL for a traditional appearance.

PIVOT BARS FIX TO THE REINFORCEMENT
giving a much stronger fixing for heavy sashes.

FITS STANDARD 'OFF THE SHELF' HARDWARE
which means that no special hardware is required.



GEORGIAN BAR OPTION

Georgian bars are extruded complete with self-stick backs.

WIDE RANGE OF COLOUR OPTIONS

available in White, Mahogany, Light Oak, Mahogany on White and Light Oak on White.

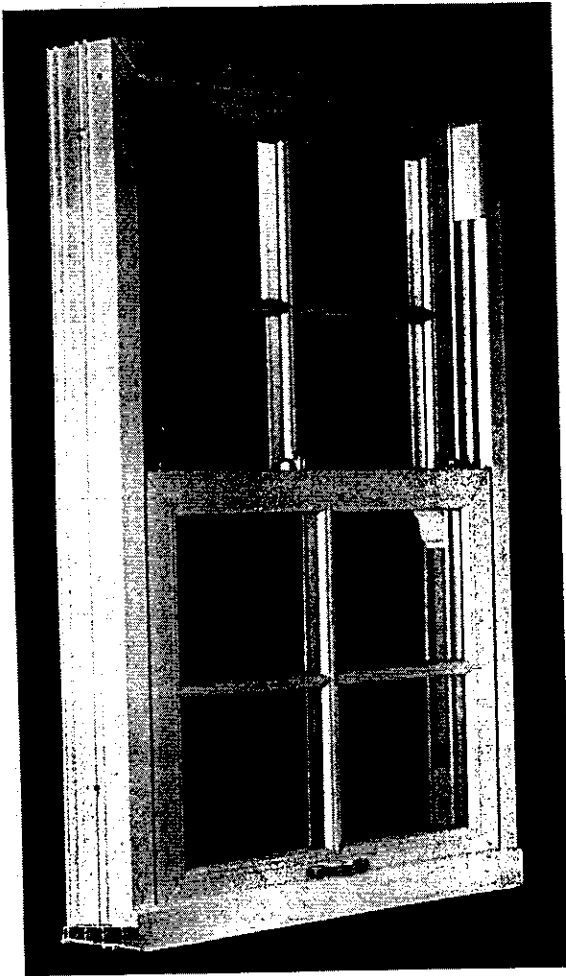


DEALER STAMP

Spectus
WINDOW SYSTEMS

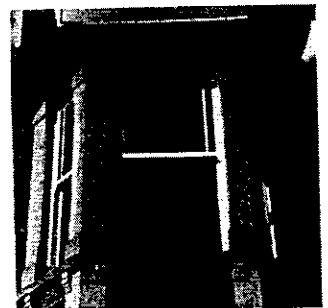
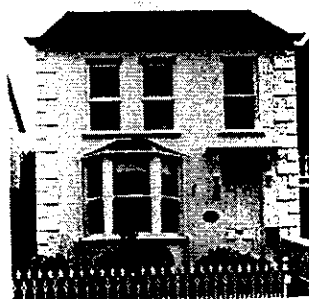
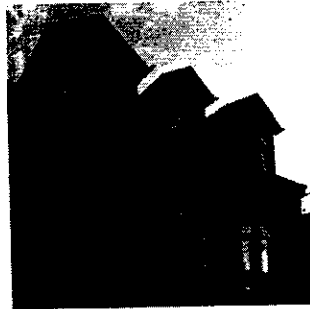
VERTICAL SLIDING WINDOW

This state of the art vertical sliding window from Spectus is one of the most technologically advanced products available. It is ideal for use in both traditional and modern applications.



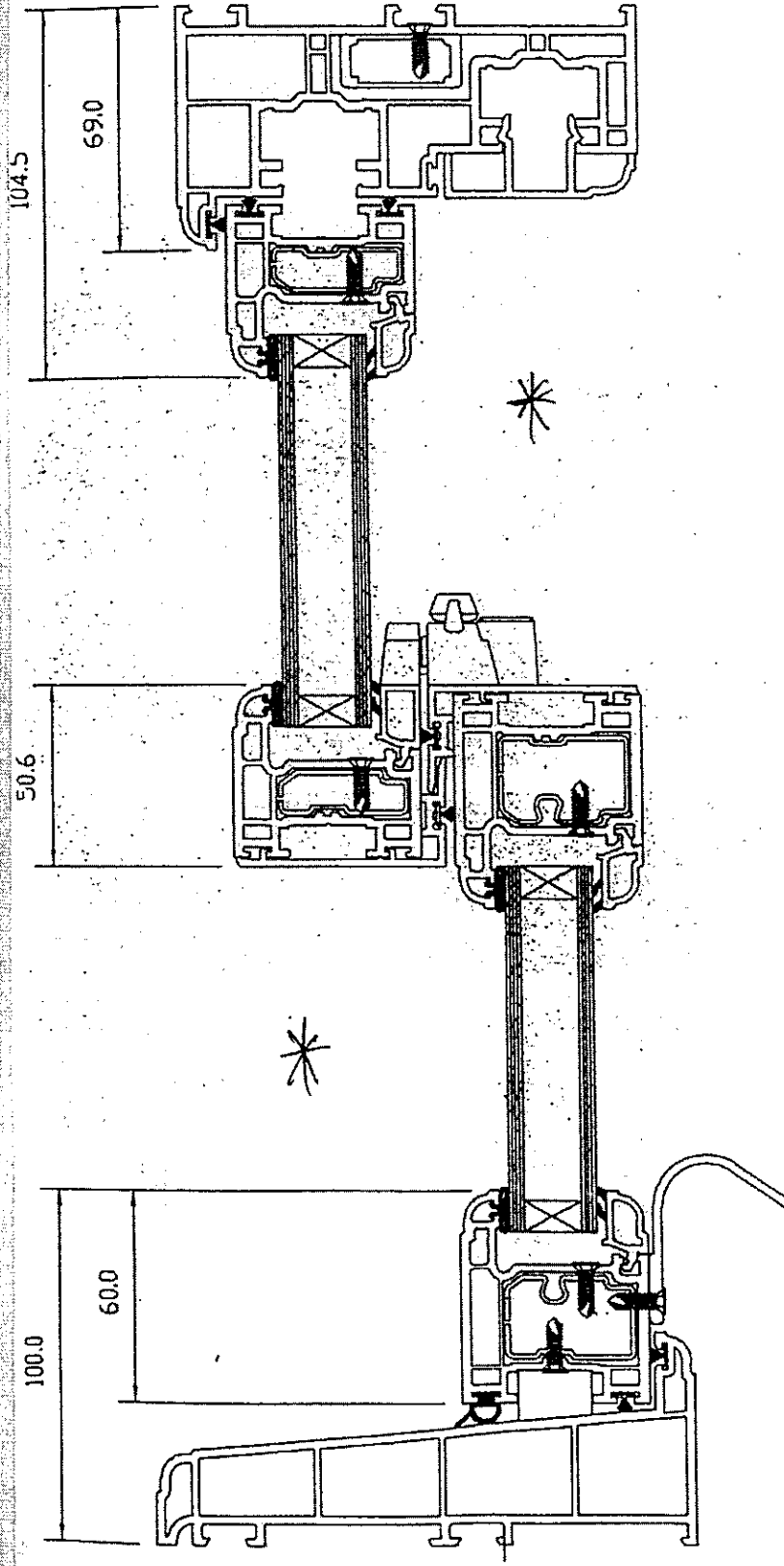
- The PVC-U window frames are designed to provide optimum strength, superior thermal properties and excellent weathering performance, and will retain their pristine appearance year after year, with minimum maintenance.

SEARCHED	INDEXED
SERIALIZED	FILED
- 3 DEC 2012	

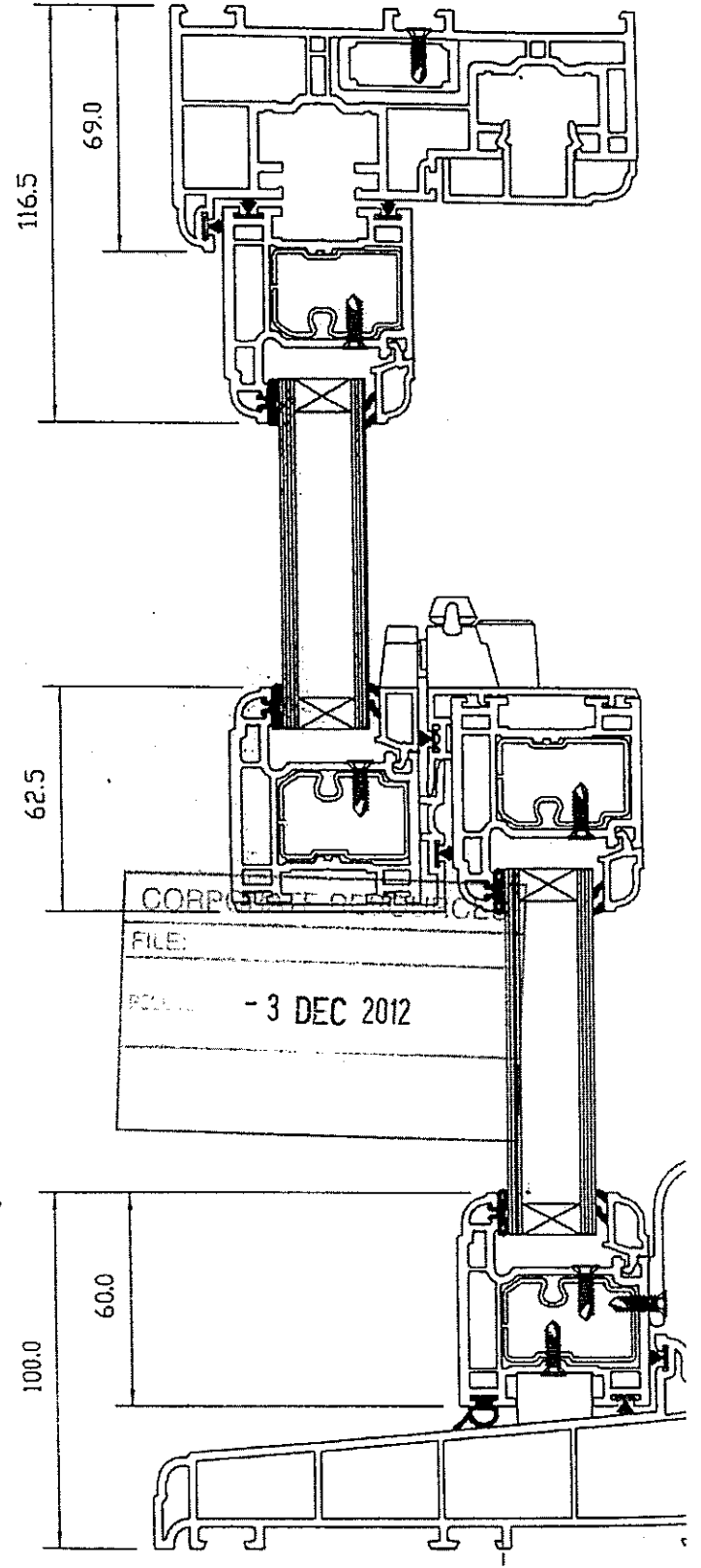


COMMERCIAL

STANDARD CONFIGURATION



HEAVY DUTY CONFIGURATION



SCALE 1:2