

Notice of Meeting and Agenda



Local Review Body

Venue: Virtual Meeting,

Date: Monday, 26 September 2022

Time: 13:00

Executive Director : Place

Contact:

Clerk Name: Democratic Services
Clerk Telephone:
Clerk Email: democratic.services@midlothian.gov.uk

Further Information:

This is a meeting which is open to members of the public.

Privacy notice: Please note that this meeting may be recorded. The recording may be publicly available following the meeting. If you would like to know how Midlothian Council collects, uses and shares your personal information, please visit our website: www.midlothian.gov.uk

1 Welcome, Introductions and Apologies

2 Order of Business

Including notice of new business submitted as urgent for consideration at the end of the meeting.

3 Declaration of Interest

Members should declare any financial and non-financial interests they have in the items of business for consideration, identifying the relevant agenda item and the nature of their interest.

4 Minute of Previous Meeting

No items for discussion

5 Public Reports

Notices of Review - Determination Reports by Chief Officer:
Place.

5.1 Land at 24 Dalrymple Gardens, Cousland (22.00301.DPP) 3 - 32

5.2 White Cottage, Gladhouse Reservoir, Temple (22.00467.DPP) 33 - 72

6 Private Reports

No items for discussion

7 Date of Next Meeting

The next meeting will be held on Tuesday 25 October 2022 at 1pm.

Plans and papers relating to the applications on this agenda can also be viewed at <https://planning-applications.midlothian.gov.uk/OnlinePlanning>

Notice of Review: Land at 24 Dalrymple Gardens, Cousland Determination Report

Report by Chief Officer Place

1 Purpose of Report

- 1.1 The purpose of this report is to provide a framework for the Local Review Body (LRB) to consider a 'Notice of Review' for the erection of a dwellinghouse and associated works at land at 24 Dalrymple Gardens, Cousland.

2 Background

- 2.1 Planning application 21/00301/DPP for the erection of a dwellinghouse and associated works at land at 24 Dalrymple Gardens, Cousland was refused planning permission on 1 July 2022; a copy of the decision is attached to this report.
- 2.2 The review has progressed through the following stages:
- 1 Submission of Notice of Review by the applicant.
 - 2 The Registration and Acknowledgement of the Notice of Review.
 - 3 Carrying out Notification and Consultation.

3 Supporting Documents

- 3.1 Attached to this report are the following documents:
- A site location plan (Appendix A);
 - A copy of the notice of review form and supporting statement (Appendix B). Any duplication of information is not attached;
 - A copy of the case officer's report (Appendix C);
 - A copy of the decision notice, excluding the standard advisory notes, issued on 1 July 2022 (Appendix D); and
 - A copy of the key plans/drawings (Appendix E).
- 3.2 The full planning application case file and the development plan policies referred to in the case officer's report can be viewed online via www.midlothian.gov.uk

4 Procedures

- 4.1 In accordance with agreed procedures:

- Have determined to consider a visual presentation of the site and undertaking a site visit (elected members not attending the site visit can still participate in the determination of the review); and
 - Have determined to progress the review by written submissions.
- 4.2 The case officer's report identified that there were three consultation responses and 18 representations received. As part of the review process the interested parties were notified of the review. No additional comments have been received. All comments can be viewed online on the electronic planning application case file.
- 4.3 The next stage in the process is for the LRB to determine the review in accordance with the agreed procedure:
- Identify any provisions of the development plan which are relevant to the decision;
 - Interpret them carefully, looking at the aims and objectives of the plan as well as detailed wording of policies;
 - Consider whether or not the proposal accords with the development plan;
 - Identify and consider relevant material considerations for and against the proposal;
 - Assess whether these considerations warrant a departure from the development plan; and
 - State the reason/s for the decision and state any conditions required if planning permission is granted.
- 4.4 In reaching a decision on the case the planning advisor can advise on appropriate phraseology and on appropriate planning reasons for reaching a decision.
- 4.5 Following the determination of the review the planning advisor will prepare a decision notice for issuing through the Chair of the LRB. A copy of the decision notice will be reported back to the LRB for noting.
- 4.6 A copy of the LRB decision will be placed on the planning authority's planning register and made available for inspection online.

5 Conditions

- 5.1 In accordance with the procedures agreed by the LRB at its meeting of 20 June 2022, and without prejudice to the determination of the review, the following conditions have been prepared for the consideration of the LRB if it is minded to uphold the review and grant planning permission.
1. Prior to the commencement of development, the following details shall be submitted to and approved in writing by the planning authority:
 - a) Details and samples of the external finishing materials of the proposed house;
 - b) Details of all wall, gates, fences or other means of enclosure to be erected;
 - c) Details of the surface material of the hardstanding;

- d) Details of the proposed surface water management scheme from the proposed house;
- e) Details of the proposed treatment and disposal of foul water drainage from the proposed house;
- f) Details of existing and finished ground levels for the proposed dwelling and associated external amenity space in relation to a fixed datum; and,
- g) Details of a scheme of landscaping for the site. Details shall include the position, number, size and species of all trees and shrubs that are proposed to be planted, as well as identifying all trees on site which are proposed to be removed and retained.

Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be agreed in writing with the planning authority.

Reason: *These details were not submitted with the original application; in order to protect the character and appearance of the existing house and the surrounding area; to ensure provision for biodiversity enhancements; to reduce the loss of existing trees and vegetation from the proposed development; to ensure that the house is provided with adequate drainage facilities.*

- 2. Within six months of the works being completed, the landscape plan approved under the terms of condition 1 f) above shall be carried out; thereafter, any trees or shrubs removed, dying, becoming seriously diseased or being severely damaged within five years of planting shall be replaced during the next available planting season with others of a similar size and species.

Reason: *To enhance the landscaping of the area by ensuring that planting on the site is carried out as early as possible, and has an adequate opportunity to become established.*

- 3. The surface water management scheme approved in condition 1d) shall demonstrate that the development does not increase the risk of flooding in the local area.
- 4. Unless otherwise agreed in writing by the planning authority the area of hardstanding agreed in terms of condition 1c) shall be surfaced in a porous material.

Reason for conditions 3 and 4: *To ensure that the site is adequately drained in the interests of the amenity of the area.*

- 5. A minimum of the first 2 metres of the driveway as measured from the heel of the footpath shall be surfaced in non-loose material.

Reason: *In the interests of road safety.*

- 6. Prior to the driveway being brought into use a dropped kerb footway crossing shall be constructed at the vehicle entrance.

Reason: *In the interests of road safety and the free flow of traffic*

7. Any gates to the vehicular access shall be so designed and installed as to only open inwards.

Reason: *To ensure gates do not open over the pavement: to ensure no hazard is caused to pedestrians using the footway*

8. Development shall not begin until details of a sustainability/biodiversity scheme for the site, including the provision of house bricks and boxes for bats and swifts and hedgehog highways throughout the development has been submitted to and approved in writing by the planning authority.

Within six months of the new house being completed or occupied, whichever is the earlier date the sustainability/biodiversity scheme shall be implemented in accordance with the approved details. Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be approved in writing with the planning authority.

Reason: *To ensure the development accords with the requirements of policy DEV5 of the adopted Midlothian Local Development Plan 2017.*

9. Development shall not begin until details, including a timetable of implementation, of high speed fibre broadband have been submitted to and approved in writing by the planning authority. The details shall include delivery of high speed fibre broadband prior to the occupation of the dwellinghouse. The delivery of high speed fibre broadband shall be implemented as per the approved details.

Reason: *To ensure the quality of the development is enhanced by the provision of appropriate digital infrastructure in accordance with the requirements of policy IT1 of the adopted Midlothian Local Development Plan 2017.*

10. Development shall not begin until details of the provision and use of an electric vehicle charging station at the development have been submitted to and approved in writing by the planning authority. Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be approved in writing by the planning authority.

Reason: *To ensure the development accords with the requirements of policy TRAN5 of the adopted Midlothian Local Development Plan 2017*

11. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (Scotland) Order 1992 (or any Order revoking and re-enacting that Order) the house as extended/the building shall not be enlarged, or altered externally in anyway unless planning permission is granted by the planning authority.

Reason: To safeguard the character of the building/as extended.

12. The development shall not begin until a scheme to deal with any contamination of the site and/or previous mineral workings has been submitted to and approved by the planning authority. The scheme shall contain details of the proposals to deal with any contamination and/or previous mineral workings and include:
 - i. the nature, extent and types of contamination and/or previous mineral workings on the site;
 - ii. measures to treat or remove contamination and/or previous mineral workings to ensure that the site is fit for the uses hereby approved, and that there is no risk to the wider environment from contamination and/or previous mineral workings originating within the site;
 - iii. measures to deal with contamination and/or previous mineral workings encountered during construction work; and
 - iv. the condition of the site on completion of the specified decontamination measures.
13. On completion of the decontamination/ remediation works referred to in Condition 12 above and prior to the dwellinghouse on the site being occupied, a validation report or reports shall be submitted to the planning authority confirming that the works have been carried out in accordance with the approved scheme. No part of the development shall be occupied unless or until the planning authority have approved the required validation.

Reason for Conditions 12 and 13: To ensure that any contamination on the site is adequately identified and that appropriate decontamination measures are undertaken to mitigate the identified risk to site users and construction workers, built development on the site, landscaped areas, and the wider environment.

6 Recommendations

- 6.1 It is recommended that the LRB:
 - a) determine the review; and
 - b) the planning advisor draft and issue the decision of the LRB through the Chair

Peter Arnsdorf
Planning, Sustainable Growth and Investment Manager

Date: 16 September 2022
Report Contact: Alison Ewing, Planning Officer
alison.ewing@midlothian.gov.uk

Background Papers: Planning application 21/00301/DPP available for inspection online.



**Education, Economy
& Communities**
Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
EH22 3AA

Erection of dwellinghouse Garden of 24 Dalrymple Gardens, Cousland

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File No.22/00301/DPP

Scale: 1:1,250





Fairfield House 8 Lothian Road Dalkeith EH22 3ZN Tel: 0131 271 3302 Fax: 0131 271 3537 Email: planning-applications@midlothian.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100583176-001

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

≤ Applicant T Agent

Agent Details

Please enter Agent details

Company/Organisation:

Ref. Number:

You must enter a Building Name or Number, or both: *

First Name: *

Building Name:

Last Name: *

Building Number:

Telephone Number: *

Address 1 (Street): *

Extension Number:

Address 2:

Mobile Number:

Town/City: *

Fax Number:

Country: *

Postcode: *

Email Address: *

Is the applicant an individual or an organisation/corporate entity? *

T Individual ≤ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *
Other Title:	<input type="text"/>	Building Name: <input type="text"/>
First Name: *	<input type="text" value="James"/>	Building Number: <input type="text" value="24"/>
Last Name: *	<input type="text" value="Sally"/>	Address 1 (Street): * <input type="text" value="Dalrymple Gardens"/>
Company/Organisation	<input type="text"/>	Address 2: <input type="text" value="Dalrymple Gardens"/>
Telephone Number: *	<input type="text"/>	Town/City: * <input type="text" value="Dalkeith"/>
Extension Number:	<input type="text"/>	Country: * <input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: * <input type="text" value="EH22 2PW"/>
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text"/>	

Site Address Details

Planning Authority:	<input type="text" value="Midlothian Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text" value="24 DALRYMPLE GARDENS"/>
Address 2:	<input type="text" value="COUSLAND"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text" value="DALKEITH"/>
Post Code:	<input type="text" value="EH22 2PW"/>

Please identify/describe the location of the site or sites

Northing	<input type="text" value="668259"/>	Easting	<input type="text" value="337648"/>
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Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

The Erection of a two bedroom Bungalow in the large Garden of 24 Dalrymple Gardens

Type of Application

What type of application did you submit to the planning authority? *

- ☐ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☐ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

I will upload Document DOC 1465 Reply to Planning refusal for 24 Dalrymple Gardens.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☐ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

I will upload Document DOC 1465 Reply to Planning refusal for 24 Dalrymple Gardens.

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

DOC 1465 Reply to Planning refusal for 24 Dalrymple Gardens. Proposed Block Plan DCD 2A REV 4 Proposed Bungalow site position DCD 5 REV 4

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/00301/DPP

What date was the application submitted to the planning authority? *

02/05/2022

What date was the decision issued by the planning authority? *

01/07/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☐ Yes ☒ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☐ Yes ☒ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☐ Yes ☒ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☐ Yes ☒ No

Have you provided the date and reference number of the application which is the subject of this review? *

☐ Yes ☒ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☐ Yes ☒ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☐ Yes ☒ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☐ Yes ☒ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: Mr John Stewart

Declaration Date: 12/07/2022

APPEAL FOR PLANNING APPLICATION REFUSAL AT 24 DALRYMPLE GARDENS, COUSLAND, DALKEITH , EH22 2PW. - REG No 22/00301/DPP		
PLANNING AUTHORITY REASONS FOR REFUSAL OF PLANNING PERMISSION AT 24 DALRYMPLE GARDENS, COUSLAND, DALKEITH REG NO. 22/00301/DPP		REPLY TO THE PLANNING APPLICATION REFUSAL COUSLAND, DALKEITH
1	<p>It has not been demonstrated to the satisfaction of the Planning Authority that that the proposed dwelling will not be subject to levels of amenity, with a garden size smaller than that required for a modern dwelling house.</p>	<p><i>The guidelines that I am working with is :- usable garden space of 175m² The proposed garden area would give 190.7m² Of usable garden space. This includes both sides of the house for Border Vegetation and other plants. Site Area : 316.1m² Proposed bungalow Foot print: 99m² Parking area: 26.4m² Total Garden Area: 190.7m²</i></p>
2	<p>The Proposed dwelling house fails to connect visually to the character, appearance and layout area. the proposed dwelling house will materially detract from the character of the area</p>	<p><i>The house frontage has been designed as to reflect the frontage of the existing house at 24 Dalrymple Gardens. The proposed dwelling is at a slightly different height, this can easily be resolved by making the garden level with 24 Dalrymple Gardens. Refer To Drg No DCD 05 REV 4</i></p>
3.	<p>It is not demonstrated to the satisfaction of the Planning Authority that the proposed dwelling house could be afforded and adequate level of off street parking spaces. The proposed dwelling house may result in pressure for parking spaces will have a significant detrimental impact on the character and the amenity of the surrounding area.</p>	<p><i>Off street parking will be increased to 26.4m² As Shown in Point 1 Refer To Drg No DCD 02 REV 4</i></p>
4.	<p>It has not been demonstrated to the satisfaction of the Planning Authority that the proposed development would not lead directly or indirectly to the loss of or damage to existing vegetation and landscaping within the site which contributes to the residential visual amenity of the site and surrounding area.</p>	<p><i>The existing boundary vegetation would indeed be affected, if this application were granted. Some existing vegetation would be removed from site to allow the construction of the proposed dwelling house, but when complete, the area would be fully landscape and give new boundary vegetation. Note:- At present the site vegetation is very untidy and in our opinion and badly planned. The area would benefit from a better planned garden and new boundary bushes etc.</i></p>
5.	<p>For that above reasons the proposal is contrary to policies DEV2, DEV6, and ENV11 of the Midlothian Development plan. If the proposal were approved it would undermine the consistent implementation of the policy, the objective of which is to protect the character and the amenity of the built- up area and ensure that good levels of residential amenity are achieved in new developments.</p>	

MIDLOTHIAN COUNCIL

DEVELOPMENT MANAGEMENT PLANNING APPLICATION DELEGATED WORKSHEET:

Planning Application Reference: 22/00301/DPP

Site Address: Garden Ground of, 24 Dalrymple Gardens, Cousland, Dalkeith

Site Description:

The application site comprises an existing single storey detached dwellinghouse and associated garden area. The house is finished in mix of dry dash render and stone, with wooden panelling to half of roof gable to the principle elevation. The windows of the existing property are brown upvc with grey concrete roof tiles to pitched roof.

The garden of the property sits to the rear, and side elevation and comprises predominantly grassed areas. To the southern boundary (bounding Cranston Drive) the site is bound by existing hedging. To the northern boundary sits further residential properties. There is an existing driveway to the rear of the property accessed off Cranston Drive.

The land to the south of the existing house gently slopes towards the existing property.

Proposed Development:
Erection of Dwellinghouse

Proposed Development Details:

It is proposed to erect a single storey pitched roof detached dwellinghouse in the area of vacant garden land adjacent to the existing dwellinghouse at 24 Dalrymple Gardens. The proposed dwellinghouse will be 8m wide at its maximum extent and protrude 12.4m in length. It is proposed to be pitched roof in design with maximum ridge height of 5.98m, and maximum eaves height of 3.3m.

The building line of the proposed dwellinghouse will be in line with the existing property at no.24. It will be set 1.35m off the boundary to the property at no.24, with a separation of 2.35m between the side elevations of each dwellinghouse. There will be a separation distance of 10.2m between the rear elevation of the proposed dwellinghouse and the side elevation of No.2 Cranston Drive.

The walls are proposed to be finished in white render with fyfestone wall to northern side of principle elevation, and basecourse to all elevations. The gable of the southern side of the principle elevation it is proposed to be finished with upvc cladding in rose wood effect. The roof will be finished in grey concrete roof tiles, with rosewood effect upvc windows and doors.

The proposed dwellinghouse features under build to the northern side to take account of the topography of the site.

To the southern and eastern boundary it is proposed to install 0.0215m blockwork retaining wall. No further details of landscaping or boundary treatments have been provided.

The proposals include a driveway located to the rear of the application site to facilitate the parking of one vehicle. No details of driveway materials were submitted.

Background (Previous Applications, Supporting Documents, Development Briefs):

History Sheet Checked.

Consultations:

The Wildlife Information Centre (TWIC) recommended the implementation of biodiversity enhancement through the proposals.

The Council's **Policy and Roads Safety Manager** raised no objection to the proposals however recommended the use of conditions relating to road safety considerations should the application be approved. Comment was also made on the requirement to submit details of the proposed surface water management scheme.

Scottish Water raised no objection to the application. The applicant should be aware that this does not confirm that the proposed development can currently be serviced. It was confirmed that Scottish Water will not accept surface water connections into their combined sewer system.

Representations:

Two representations were received in support of the application. The representations commented that the proposals would allow the provision of additional housing to the local community; would result in a positive contribution to the streetscene; and would allow the use of currently underutilised land.

Sixteen representations were submitted objecting the planning application. The comments can be summarised as follows:

- The proposals would detract from the layout of the street, and would be at odds to the character of the surrounding area and existing development;
- Creation of an overcrowded plot detracting from the existing character;
- Comment on the existing use of the land as a well maintained garden which contributes to the character and setting of the area;
- The proposals would lead to overdevelopment with a loss of garden ground and a loss of amenity afforded to residents of the proposed development and existing house on site;
- Comment that the size of site is not appropriate for the creation of a dwellinghouse;
- Potential for overlooking and loss of privacy to neighbouring properties as a consequence of the proposals;

- Concern was raised surrounding the removal of trees and the associated impact on the appearance of the area, and on the ecology at the site with nesting birds and wildlife associated with existing landscaping;
- Concern over the proposed parking provision being insufficient with the proposals likely to lead to increased traffic congestion and exacerbate existing parking issues within the estate, with particular note made to the impact during the construction period;
- Concern over road safety with the application sites position at a T junction;
- Lack of provision of electric charging points within the proposals;
- Lack of public transport in surrounding area leading to reliance on cars within village enhancing parking issues; and
- Comment that the deeds for the houses within the development where the site is located are said to state that there should be only one dwelling house per plot.

Matters of the deeds associated to the property are private legal matter between the relevant parties and are outwith the planning remit.

Other matters are addressed below.

Relevant Planning Policies:

The relevant policies of the **Midlothian Local Development Plan 2017** are;

STRAT2 Windfall Housing Sites advises that within the built-up areas, housing development on non-allocated sites and including the reuse of buildings and redevelopment of brownfield land, will be permitted provided that: it does not lead to the loss or damage of valuable public or private open space; it does not conflict with the established land use of the area; it respects the character of the area in terms of scale, form, design and materials; it meets traffic and parking requirements; and it accords with other relevant Local Plan policies and proposals;

DEV2 Protecting Amenity within the Built-Up Area advises that development will not be permitted where it is likely to detract materially from the existing character or amenity of the area;

DEV5 Sustainability in New Development sets out the requirements for development with regards to sustainability principles;

DEV6 Layout and Design of New Development requires good design and a high quality of architecture, in both the overall layout of developments and their constituent parts. The layout and design of developments are to meet listed criteria;

DEV7 Landscaping in New Development requires development proposals to be accompanied by a comprehensive scheme of landscaping. The design of the scheme is to be informed by the results of an appropriately detailed landscape assessment;

TRAN5 Electric Vehicle Charging seeks to support and promote the development of a network of electric vehicle charging stations by requiring provision to be considered as an integral part of any new development or redevelopment proposals; and

IT1 Digital Infrastructure supports the incorporation of high speed broadband connections and other digital technologies into new homes, business properties and redevelopment proposals.

ENV11 Woodland, Trees and Hedges - states that development will not be permitted where it could lead directly or indirectly to the loss of, or damage to, woodland, groups of trees (including trees covered by a Tree Preservation Order, areas defined as ancient or semi-natural woodland, veteran trees or areas forming part of any designated landscape) and hedges which have a particular amenity, nature conservation, biodiversity, recreation, landscape, shelter, cultural, or historical value or are of other importance. Where an exception to this policy is agreed replacement planting will be required.

The policy **DP2 Development Guidelines**, from the now superseded 2008 Midlothian Local Plan, set out the development guidelines that are to be applied for residential developments. The policy set the standards that should be applied when considering applications for dwellings. The guidance set out within this policy has been successfully applied to development proposals throughout Midlothian and will be reflected within the Council's Supplementary Guidance (SG) on Quality of Place which is currently being drafted.

Planning Issues:

The main planning issue to be considered is whether or not the proposal complies with the development plan policies and, if not, whether there are any material planning considerations which would otherwise justify approval.

The application site is located within the built-up area of Cousland, where there is a presumption in favour of appropriate development which does not detract materially from the character or amenity of the area. Therefore, while the principle of a residential development on this site is acceptable, the detailed elements of the proposal require to be assessed.

The street scene, and surrounding area, and predominantly characterised by single storey dwellings with pitched roofs and of a similar palate of materials to one another. Whilst respecting the character of the surrounding area in terms of material palate, and design principles, the proportions of the proposed dwellinghouse are at odds to the surrounding dwellinghouses. The proposals include an underbuild of 1m. An underbuild of a maximum of 0.5m is sought through development proposals and such a large feature is not desired. The proposed dwellinghouse by virtue of its scale and siting fails to connect visually into the layout of the existing residential area and will be a prominent addition to an area of visual focus within the streetscene when entering into the estate. Overall, it is considered that the proposed dwellinghouse will materially detract from the character of the area which is contrary to adopted policy DEV2.

The proposals have been designed to minimise the impact on the amenity and privacy of neighbouring properties. Given the proposed spacing between the dwellinghouse and the property at No.2 Cranston Drive, there will not be a significant loss of sunlight and daylight to the property to warrant refusal on these grounds. The existing window to the southern elevation of No.24 Dalrymple Gardens is proposed to be removed. There are no windows proposed to the northern elevation of the proposed dwellinghouse. There will therefore be no impact to daylight or sunlight received to the property at No.24. Further given that the proposal is for a single storey dwellinghouse there will not be a significant impact on the amenity or privacy of surrounding properties. The proposed development will result in some overshadowing to the remaining garden of the existing property at No.24 Dalrymple Gardens in the early morning, however this will not be significant.

There are concerns in relation to the ability of the site to provide sufficient amenity space for the proposed dwellinghouse. Detached, semi-detached and terraced dwellings should each be provided with a private outdoor space that is free from direct overlooking from public areas and neighbouring property as far as possible. Private open space attached to the dwelling is required for all non-flatted properties. The Council's standard requires that houses of 3 apartments to have useable garden ground no less than 110m². The proposed dwellinghouse is to be afforded approximately 73m² of useable rear garden ground; there is also a small area of garden ground to the front and sides of the proposed dwelling. The proposed dwellinghouse will not be afforded an adequate level of amenity and therefore do not comply with adopted policy DEV6 and DEV2. Furthermore, the garden space provided would be significantly smaller than that of surrounding dwellinghouses and would therefore be at odds to the character of the surrounding area.

The proposed dwellinghouse is to be located within the garden ground associated with no.24 Dalrymple Gardens which results in the reduction of private garden ground, it is noted that no.24 will be still be left with adequate garden ground.

Within the existing garden of no.24 an established hedgerow incorporating trees and shrubs is present along the south and eastern boundaries; this provides containment to the site in views from nearby properties and contributes to residential visual amenity. No landscape plans or proposals for retention/ removal of existing vegetation have been submitted with the application. The Council's Climate Change Strategy furthermore sets out a presumption against the loss of healthy, mature trees and requires replacement tree planting where loss of trees is deemed unavoidable. For these reasons the proposals are contrary to adopted policy ENV11.

The proposed creation of a retaining wall to the site boundary would raise the need for the provision of boundary treatments. Should the existing vegetation be proposed to be removed, the erection of a fence hard up against the road at Cranston Drive would be resisted owing to its impact on the amenity and character of the area, and potential implications on road safety. Should permission be granted it would be conditioned that the applicant submit a landscape plan for approval indicating existing vegetation to be retained/ removed and details of any new boundary treatments. Should existing vegetation be lost replacement tree planting would be sought to compensate for any loss of trees that may result from the proposed development.

No details of biodiversity enhancements for the site have been submitted. Should permission be granted for the development it would be conditioned that details of the provision of biodiversity enhancements were submitted to the planning authority for approval such as the use of integrated bird boxes or bee bricks into the new build property and hedgehog highways in boundary walls/ fences to maintain connectivity through gardens.

The proposed site plan indicates that one parking space will be afforded to the proposed dwelling which is accessible via Cadwell Crescent. The development proposal fails to meet the parking standard. The proposed dwellinghouse is a three bedroom dwellinghouse which requires a total of 2.5 parking spaces to be included within the curtilage of the proposed dwellinghouse. The proposed dwellinghouse may result in a pressure for parking spaces will have a significant detrimental impact on the character and amenity of the surrounding area and is therefore contrary to policy DEV2 of the adopted Midlothian Local Development Plan.

The proposals do not include the provision of electrical charging points for the proposed dwellinghouse. This could be attached as a condition should the application be approved.

As noted above, Scottish Water advised that they will not accept any surface water connections into the combined sewer system.

Overall, all relevant matters have been taken into consideration in determining this application. It is not considered that the proposal accords with the principles and policies of the adopted Midlothian Local Development Plan 2017 and is not acceptable in terms of all other applicable material considerations. Therefore, it is recommended that the application is refused.

Recommendation:

Refuse planning permission

Refusal of Planning Permission

Town and Country Planning (Scotland) Act 1997



Reg. No. 22/00301/DPP

Appendix D

John Stewart
30 Crawford Drive
Wallacestone
Falkirk
FK2 0DL

Midlothian Council, as Planning Authority, having considered the application by Mr James Scally, 24 Dalrymple Gardens, Cousland, Dalkeith, EH22 2PW, which was registered on 2 May 2022 in pursuance of their powers under the above Acts, hereby **refuse** permission to carry out the following proposed development:

Erection of dwellinghouse at Garden Ground of, 24 Dalrymple Gardens, Cousland, Dalkeith

In accordance with the application and the following documents/drawings:

<u>Document/Drawing.</u>	<u>Drawing No/Scale</u>	<u>Dated</u>
PSAD Location Plan	PSAD DCD01 REV3	02.05.2022
PSAD Specifications and Drawing Register	PSAD DCD00 REV3	02.05.2022
PSAD Existing Block Plan	PSAD DCD02 REV3	02.05.2022
PSAD Proposed Block Plan	PSAD DCD02A REV3	02.05.2022
PSAD Easterly Elevation of Proposed Bungalow	PSAD DCD 03 REV 3	02.05.2022
PSAD Westerly Elevation of Proposed Bungalow	DCD03A REV3	02.05.2022
PSAD Southerly Elevation of Proposed Bungalow	DCD03B REV3	02.05.2022
PSAD Northerly Elevation of Proposed Bungalow	DCD03C REV3	02.05.2022
PSAD Proposed Floor Plan	DCD04 REV3	02.05.2022
PSAD Section Through A - A	DCD04A REV3	02.05.2022
PSAD Section Through B - B	DCD04B REV3	02.05.2022
PSAD Proposed Elevations	DCD05 REV3	02.05.2022
PSAD Existing Floor Plan	DCD06 REV3	02.05.2022
PSAD Proposed Floor Plan	DCD06A REV3	02.05.2022

The reasons for the Council's decision are set out below:

1. *It has not been demonstrated to the satisfaction of the Planning Authority that the proposed dwellinghouse will not be subject to substandard levels of amenity, with a garden size smaller than that required for a modern dwellinghouse.*
2. *The proposed dwellinghouse fails to connect visually to the character, appearance and layout of the area. The proposed dwellinghouse will materially detract from the character of the area.*
3. *It has not been demonstrated to the satisfaction of the Planning Authority that the proposed dwellinghouse could be afforded an adequate level of off-street parking spaces. The proposed dwellinghouse may result in a pressure for parking spaces will have a significant detrimental impact on the character and amenity of the surrounding area.*
4. *It has not been demonstrated to the satisfaction of the Planning Authority that the proposed development would not lead directly or indirectly to the loss of, or damage to existing vegetation and landscaping within the site which contributes to the residential visual amenity of the site and surrounding area.*
5. *For the above reasons the proposal is contrary to policies DEV2, DEV6, and ENV11 of the adopted Midlothian Local Development Plan. If the proposal were approved it would undermine the consistent implementation of the policy, the objective of which is to protect the character and amenity of the built-up area and ensure that good levels of residential amenity are achieved in new developments.*

Dated 1 / 7 / 2022



.....
Duncan Robertson
Lead Officer – Local Developments
Fairfield House, 8 Lothian Road, Dalkeith, EH22 3ZN



**The Coal
Authority**

Any Planning Enquiries should be directed to:

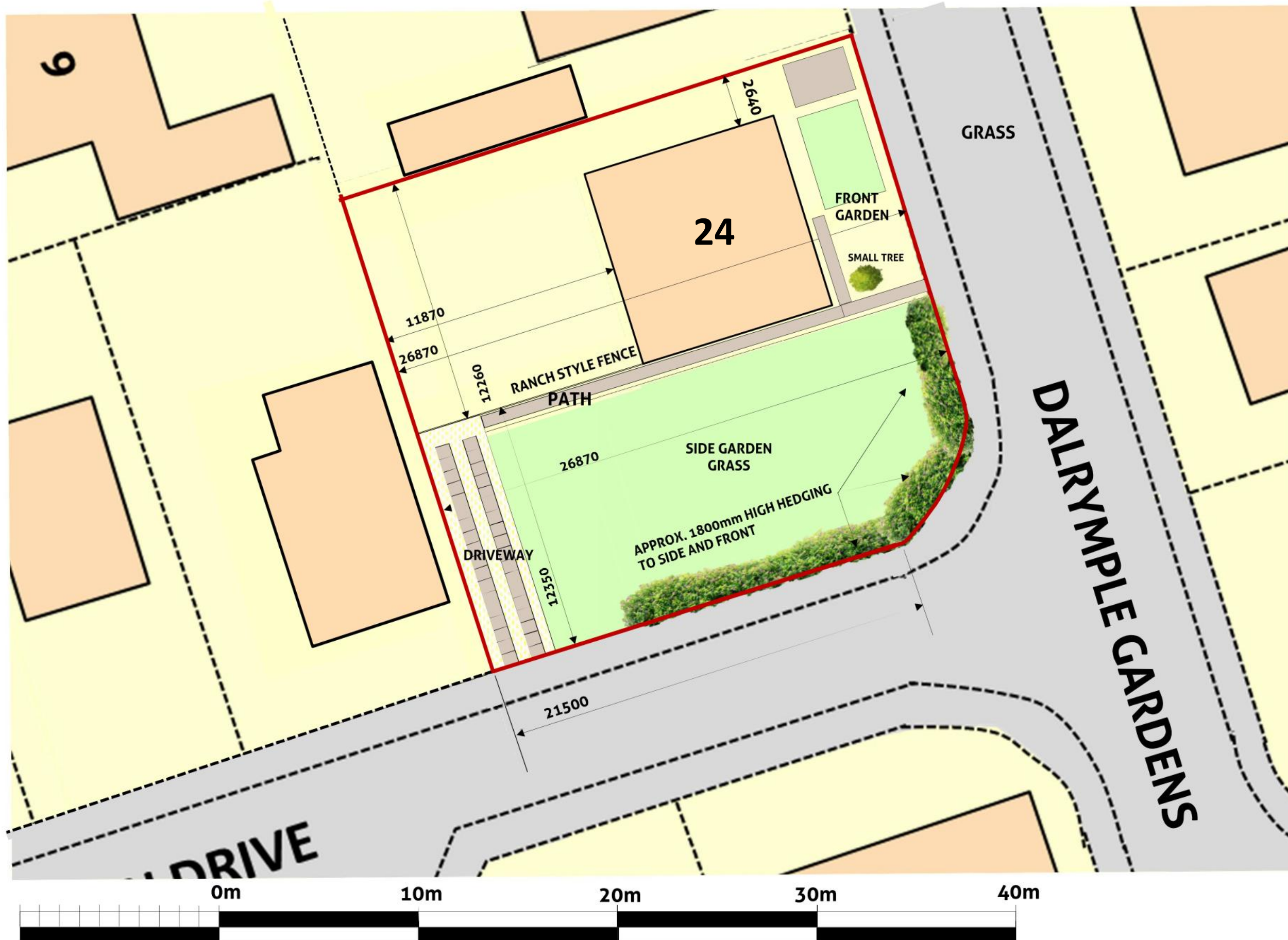
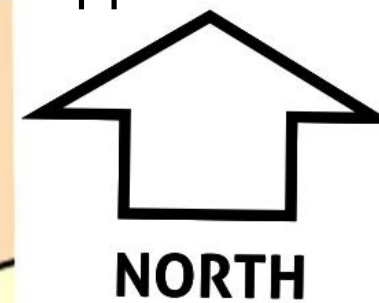
Planning and Local Authority Liaison
Direct Telephone: 01623 637 119
Email: planningconsultation@coal.gov.uk
Website: www.gov.uk/coalauthority

STANDING ADVICE

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority

Standing Advice valid from 1st January 2021 until 31st December 2022



SCALE:- 1:200 A3 SIZE

PROPOSED CONSTRUCTION OF A BUNGALOW AT
24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
FOR MR JAMES SCALLY

EXISTING BLOCK PLAN
SCALE:- 1:200 A3 SIZE

DCD - 02 REV3

This is a true copy of the plans Submitted For Planning Permission.

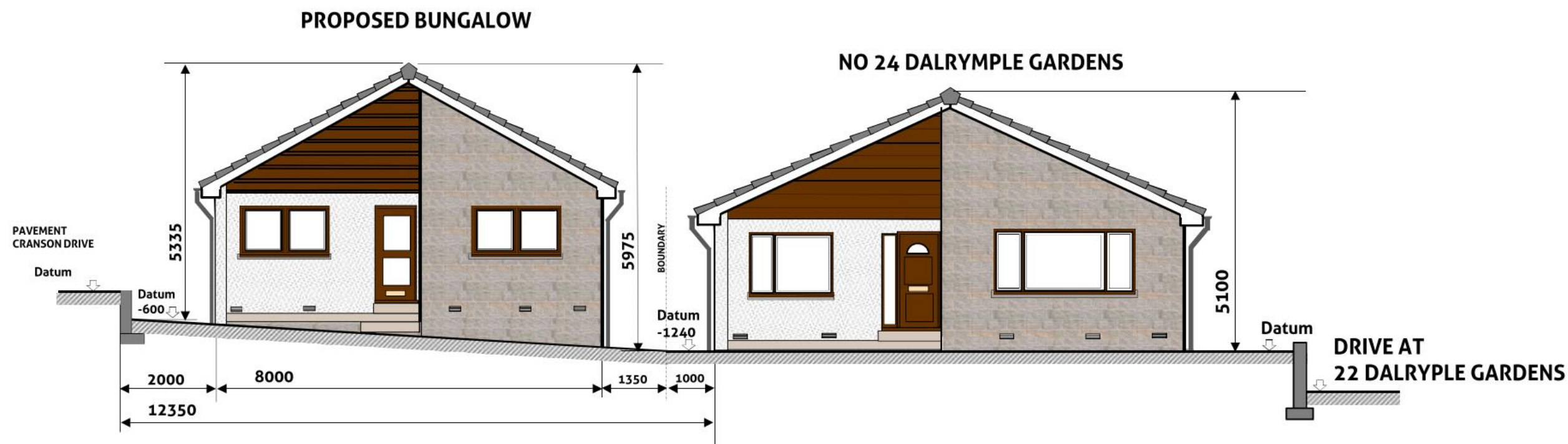
Signed: _____

Date: APRIL 2022

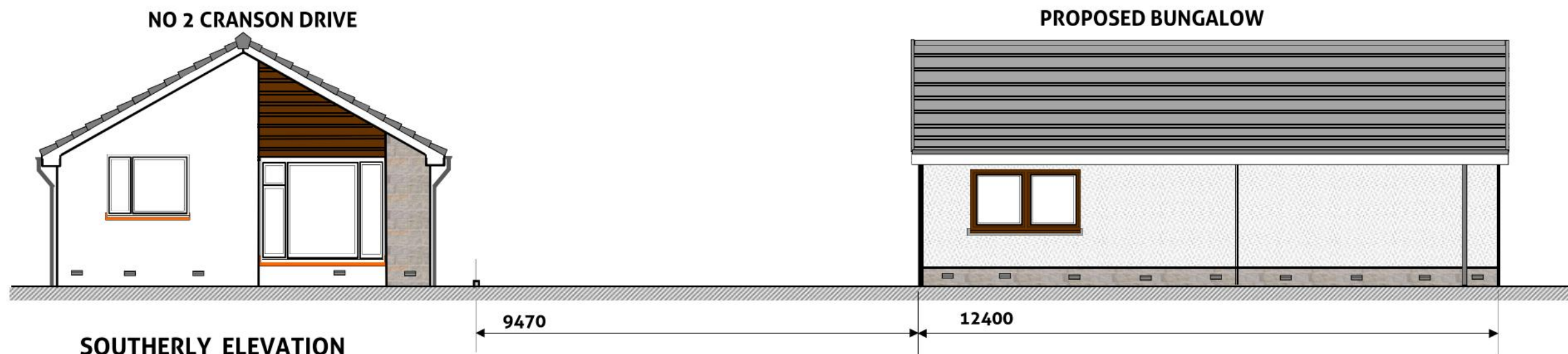
TOTAL GARDEN AREA = 208 m²



Date: **APRIL 2022**



**EASTERLY ELEVATION
FROM DALRYMPLE GARDENS
SCALE 1:100 – A3 SIZE PAPER**



**SOUTHERLY ELEVATION
FROM CRANSON DRIVE
SCALE 1:100 – A3 SIZE PAPER**



PROPOSED CONSTRUCTION OF A BUNGALOW AT
24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
FOR MR JAMES SCALLY

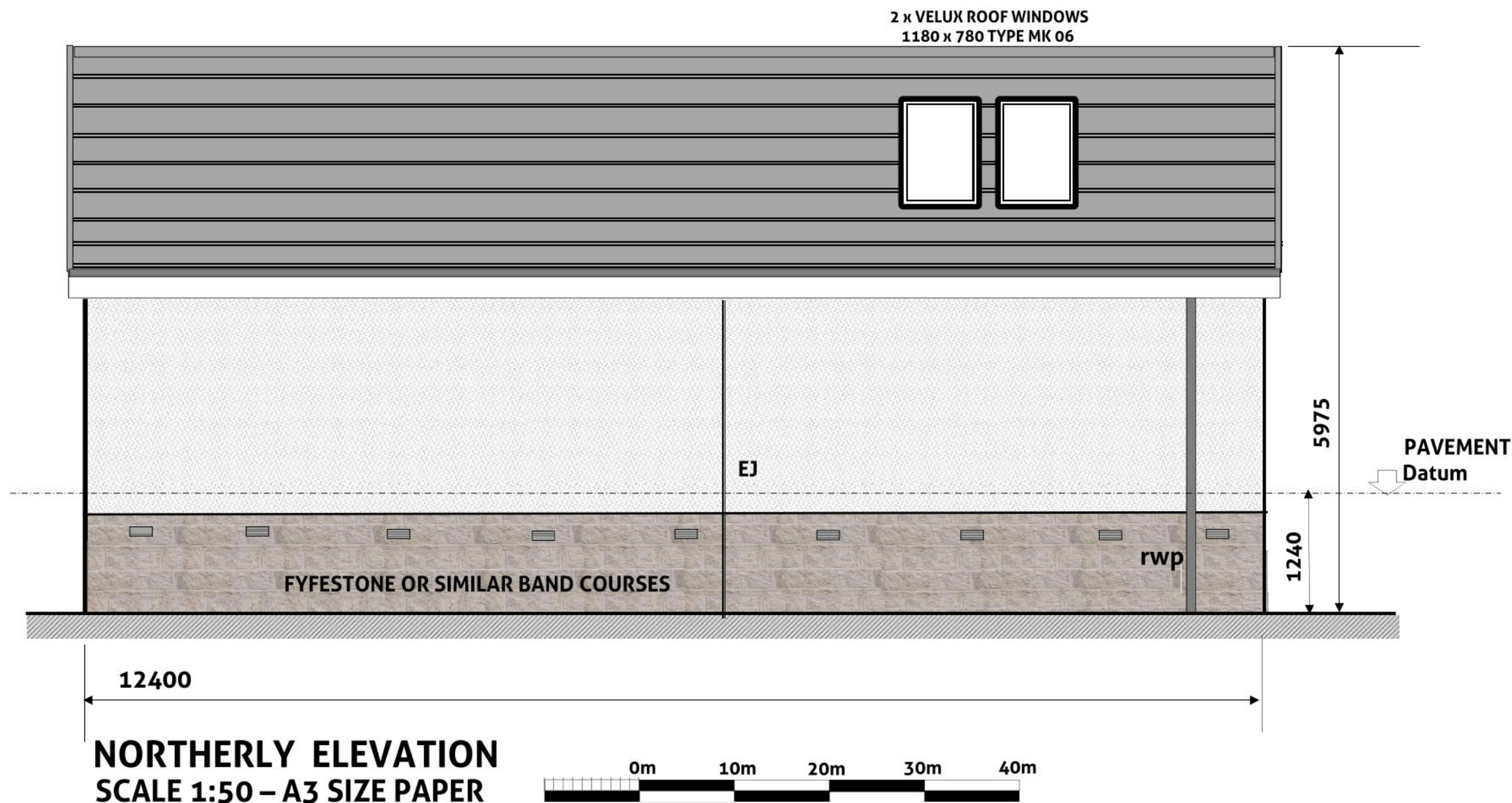
**PROPOSED BUNGALOW
SITE POSITION
SCALE:- 1:100 A2 SIZE**

DCD - 05 REV 3

This is a true copy of the plans Submitted For Planning Permission.

Signed: _____

Date: APRIL 2022



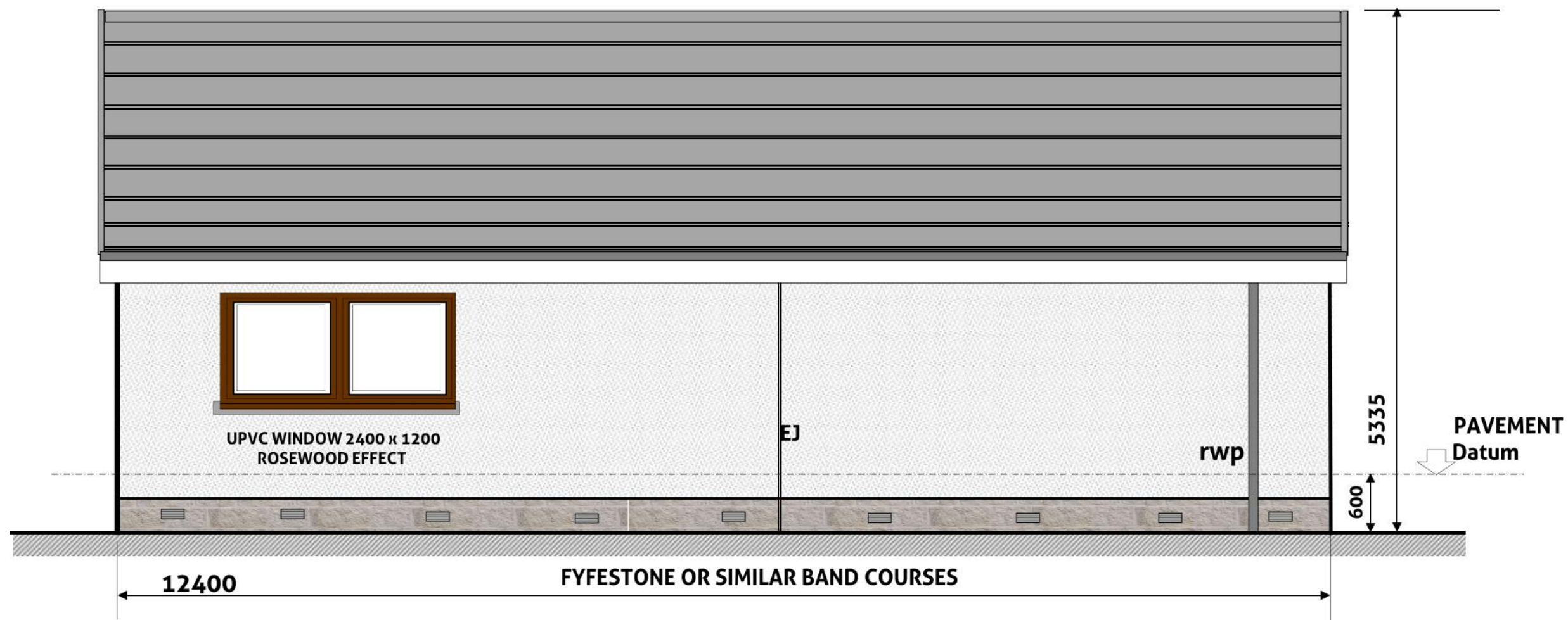
PROPOSED CONSTRUCTION OF A BUNGALOW AT
24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
FOR MR JAMES SCALLY

**NORTHERLY ELEVATION OF
PROPOSED BUNGALOW**

DCD - 03C REV 3

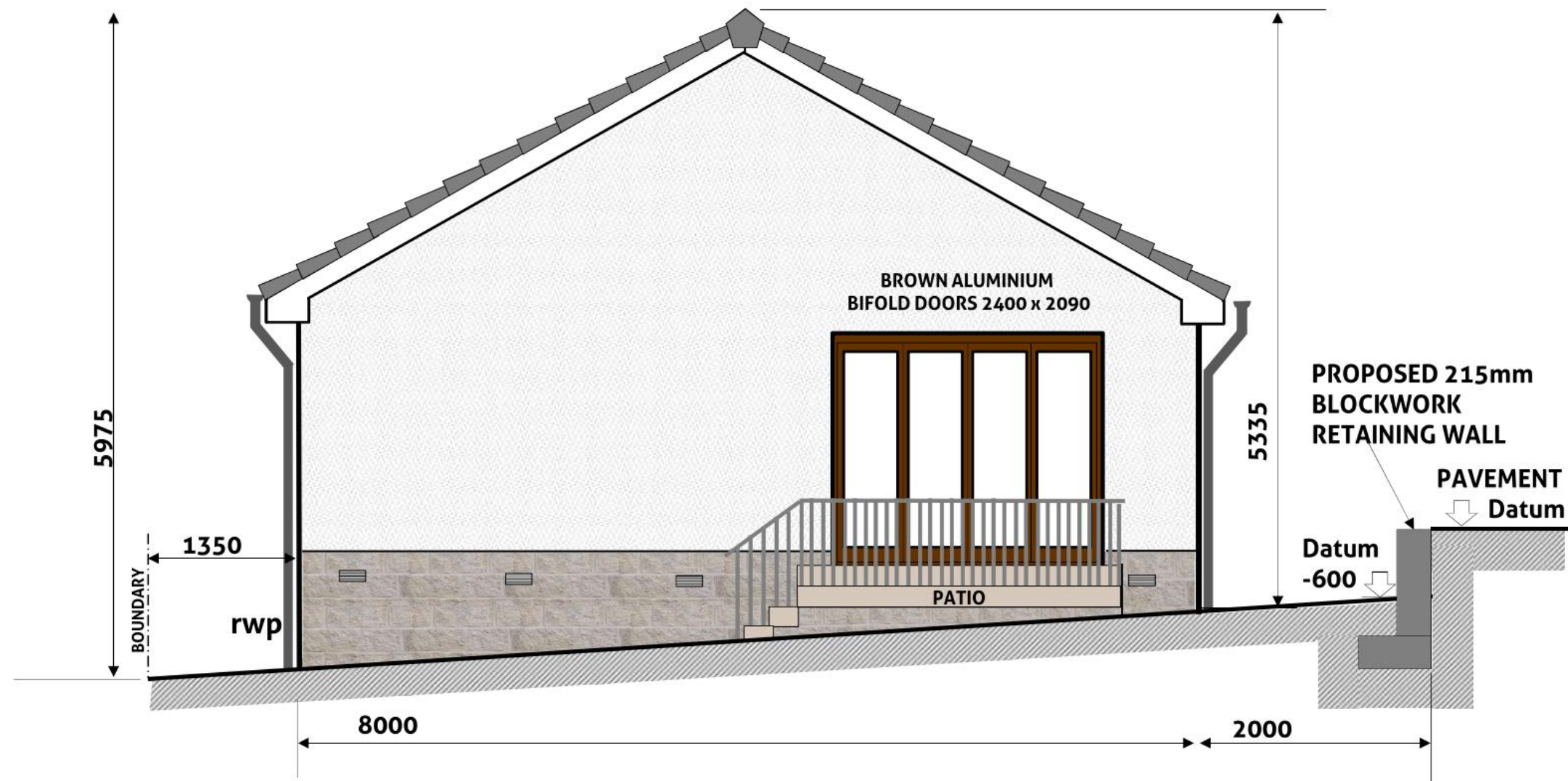
This is a true copy of the plans submitted for Planning Permission.

Signed: _____ Date: APRIL 2022



SOUTHERLY ELEVATION
SCALE 1:50 – A3 SIZE PAPER





**WESTERLY ELEVATION
SCALE 1:50 – A3 SIZE PAPER**



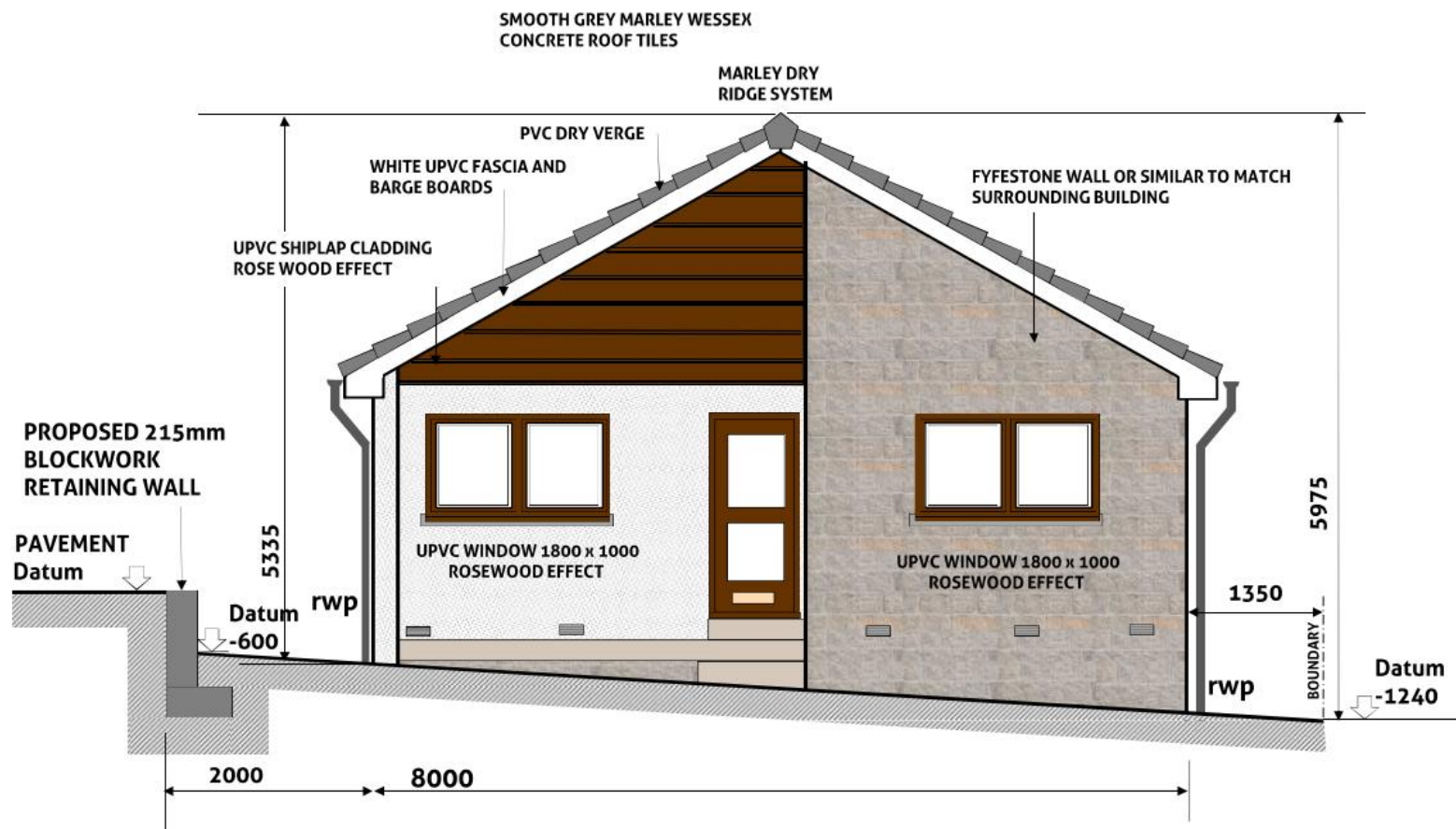
PROPOSED CONSTRUCTION OF A BUNGALOW AT
24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
FOR MR JAMES SCALLY

**WESTERLY ELEVATION OF
PROPOSED BUNGALOW**

DCD - 03A REV 3

This is a true copy of the plans Submitted For Planning Permission.

Signed: _____ Date: APRIL 2022



EASTERLY ELEVATION
SCALE 1:50 – A3 SIZE PAPER

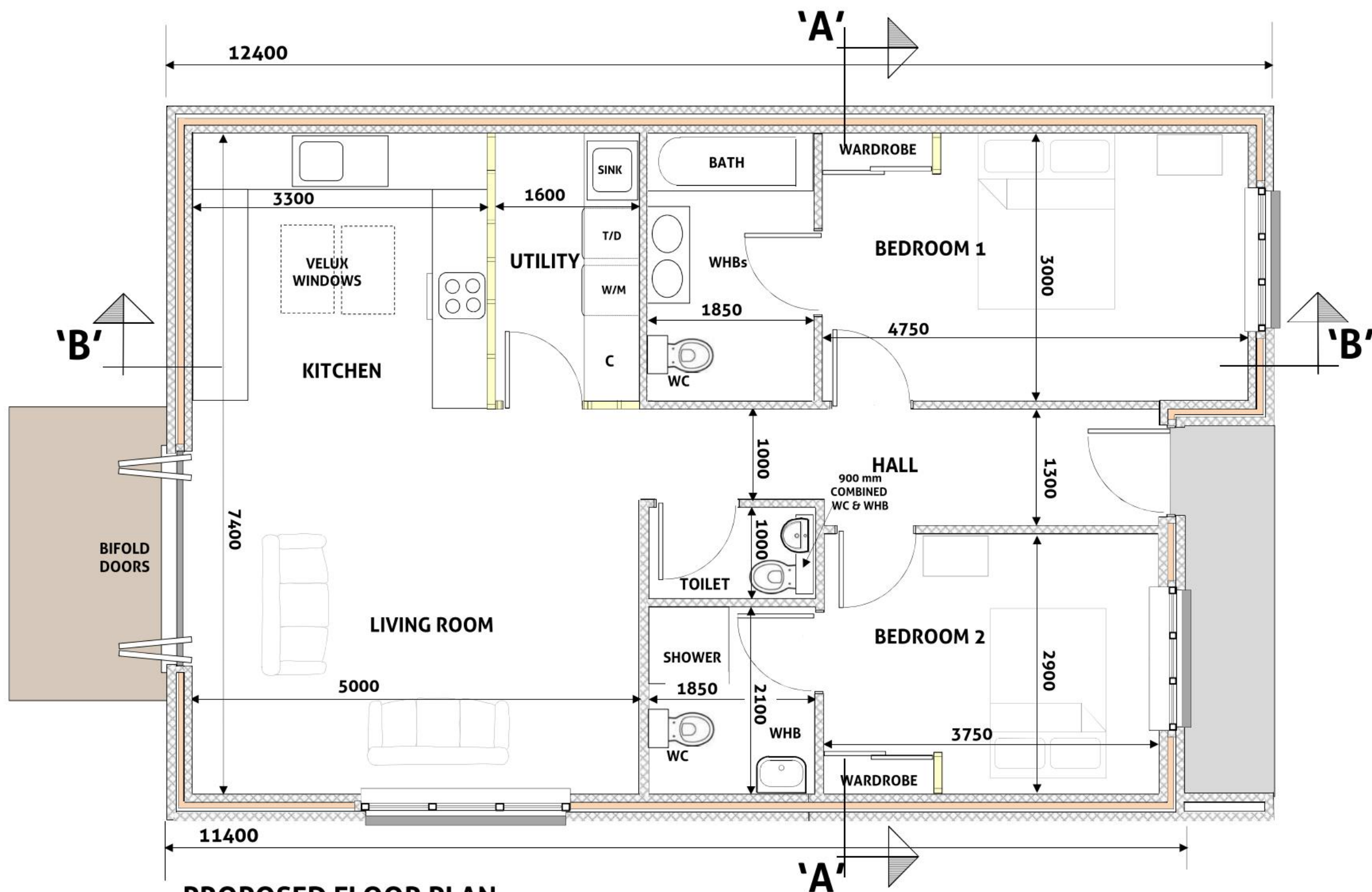


PROPOSED CONSTRUCTION OF A BUNGALOW AT
24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
FOR MR JAMES SCALLY

**EASTERLY ELEVATION OF
PROPOSED BUNGALOW**

DCD - 03 REV 3

This is a ☐ Final Design Drawing. This drawing is for Planning Permission.
Signed: Date: **APRIL 2022**



PROPOSED CONSTRUCTION OF A BUNGALOW AT
 24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
 FOR MR JAMES SCALLY

PROPOSED FLOOR PLAN
 SCALE 1:50 – A3 SIZE PAPER

DCD - 04 REV 3

This is a true copy of the plans Submitted For Planning Permission.

Signed: _____ Date: APRIL 2022

SPECIFICATIONS

ROOF.

SMOOTH GRAY MARLEY WESSEX CONCRETE ROOF TILES ON 38 x 25 TREATED TIMBER BATTENS ON 38 x 25 TREATED TIMBER COUNTER BATTENS ON DuPONT TYVEK LOW EMISSIVE BREATHABLE MEMBRANE ON 18mm TREATED TIMBER SARKING PLANKS WITH 3mm GAPS BETWEEN PLANKS MANUFACTURED ROOF TRUSSES @ 600 mm CRS . WITH 150mm THICK ECOTHERM ECO VERSAL BETWEEN RAFTERS WITH 50 mm THICK ECOTHERM ECO VERSAL UNDER RAFTERS. ALL BOARD JOINTS SEALED AS VCL AND AIR LEAKAGE BARRIER.U-VALUE 0.13W/m²k

CEILING

12.5 PLASTERBOARD FIXED TO CEILING TIES WITH SKIMCOAT PLASTER FINISH

WALLS

WHITE POLYMER RENDER ON 100mm THERMATLITE SHIELD BLOCKWORK EXTERNAL WALL WITH 100mm CAVITY WITH 100mm THERMALITE SHIELD BLOCKWORK INNER WALL WITH 90 mm ECOTHERM ECO-CAVITY FULL FILL INSULATION BETWEEN CAVITY WITH 37.5 KINGSPAN ECOTHERM ECO LINER FIXED TO WALL WITH PLASTER DABS (15mm) INSULATED PLASTER BOARD PLASTER DABS TO INTERNAL WALL WITH SKIM PLASTER FINISH.

'U' VALUE 0.15W/M²k

NOTE: SIMPSON STRONG STAINLESS STEEL WALL TIES WTS2-225 WITH INSULATION CLIPS. TIES PLACED AT NOT LESS THAN 2.5 PER SQUARE METRE (900mm HORIZONTAL x 450mm VERTICAL CENTRES).

GROUND FLOOR

18mm T&G CHIPBOARD FLOORING ON 1000mm GAUGE 0.25mm POLYTHENE VAPOUR CONTROL LAYER AND FIXED TO 47 x 170 C24 TREATED TIMBER FLOOR JOISTS AT 600mm CRS WITH 110mm THICK ECOTHERM ECO VERSAL INSULATION BETWEEN JOISTS 'U' VALUE =0.15W/m²K

DRAWING REGISTER

DRAWING No	
DCD - 00 REV3	SPECIFICATIONS AND DRAWING REGISTER
DCD - 01 REV3	LOCATION PLAN
DCD - 02 REV3	BLOCK PLAN
DCD - 02A REV3	PROPOSED BLOCK PLAN
DCD - 03 REV3	EASTERLY ELEVATION OF PROPOSED BUNGALOW
DCD - 03A REV3	WESTERLEY ELEVATION OF PROPOSED BUNGALOW
DCD - 03B REV3	SOUTHERLY ELEVATION OF PROPOSED BUNGALOW
DCD - 03C REV3	NORTHERLY ELEVATION OF PROPOSED BUNGALOW
DCD - 04 REV3	PROPOSED FLOOR PLAN OF BUNGALOW
DCD - 4A REV3	SECTION THROUGH 'A' - 'A'
DCD - 4B REV3	SECTION THROUGH 'B' - 'B'
DCD - 05 REV 3	PROPOSED BUNGALOW SITE POSTION
DCD - 06 REV3	EXISTING FLOOR PLAN AT 24 DALRYPLE GARDENS
DCD - 06A REV3	PROPOSED FLOOR PLAN AT 24 DALRYPLE GARDENS

PROPOSED CONSTRUCTION OF A BUNGALOW AT
24 DALRYMPLE GARDENS, COUSLAND, DALKEITH, EH22 2PW
FOR MR JAMES SCALLY

SPECIFICATIONS AND DRAWING REGISTER

DCD - 00 REV3

This is a true copy of the plans Submitted For Planning Permission.

Signed: _____

Date: APRIL 2022

Notice of Review: White Cottage, Gladhouse Reservoir, Temple

Determination Report

Report by Chief Officer Place

1 Purpose of Report

- 1.1 The purpose of this report is to provide a framework for the Local Review Body (LRB) to consider a 'Notice of Review' for alterations to dwellinghouse to increase roof height of White Cottage, Gladhouse Reservoir, Temple.

2 Background

- 2.1 Planning application 21/00467/DPP for alterations to dwellinghouse to increase roof height of White Cottage, Gladhouse Reservoir, Temple was refused planning permission on 5 August 2022; a copy of the decision is attached to this report.
- 2.2 The review has progressed through the following stages:
- 1 Submission of Notice of Review by the applicant.
 - 2 The Registration and Acknowledgement of the Notice of Review.
 - 3 Carrying out Notification and Consultation.

3 Supporting Documents

- 3.1 Attached to this report are the following documents:
- A site location plan (Appendix A);
 - A copy of the notice of review form and supporting statement (Appendix B). Any duplication of information is not attached;
 - A copy of the case officer's report (Appendix C);
 - A copy of the decision notice, excluding the standard advisory notes, issued on 5 August 2022 (Appendix D); and
 - A copy of the key plans/drawings (Appendix E).
- 3.2 The full planning application case file and the development plan policies referred to in the case officer's report can be viewed online via www.midlothian.gov.uk

4 Procedures

- 4.1 In accordance with agreed procedures:

- Have determined to consider a visual presentation of the site and undertaking a site visit (elected members not attending the site visit can still participate in the determination of the review); and
 - Have determined to progress the review by written submissions.
- 4.2 The case officer's report identified that there was one consultation response and one representation received. As part of the review process the interested parties were notified of the review. No additional comments have been received. All comments can be viewed online on the electronic planning application case file.
- 4.3 The next stage in the process is for the LRB to determine the review in accordance with the agreed procedure:
- Identify any provisions of the development plan which are relevant to the decision;
 - Interpret them carefully, looking at the aims and objectives of the plan as well as detailed wording of policies;
 - Consider whether or not the proposal accords with the development plan;
 - Identify and consider relevant material considerations for and against the proposal;
 - Assess whether these considerations warrant a departure from the development plan; and
 - State the reason/s for the decision and state any conditions required if planning permission is granted.
- 4.4 In reaching a decision on the case the planning advisor can advise on appropriate phraseology and on appropriate planning reasons for reaching a decision.
- 4.5 Following the determination of the review the planning advisor will prepare a decision notice for issuing through the Chair of the LRB. A copy of the decision notice will be reported back to the LRB for noting.
- 4.6 A copy of the LRB decision will be placed on the planning authority's planning register and made available for inspection online.

5 Conditions

- 5.1 In accordance with the procedures agreed by the LRB at its meeting of 20 June 2022, and without prejudice to the determination of the review, the following conditions have been prepared for the consideration of the LRB if it is minded to uphold the review and grant planning permission.
1. Details of the colour of the frames of the new windows at ground floor level shall be submitted to the planning authority and the windows shall not be installed until this detail has been approved in writing by the planning authority.
 2. The new windows at ground floor level on the existing building shall be installed within two months of the first floor accommodation being completed or brought in to use whichever is the earlier date.

Reason for conditions 1 and 2: To safeguard the appearance of the building as altered and the visual amenity of the surrounding area.

3. Details of the external appearance and dimensions of the proposed air source heat pump shall be submitted to the planning authority and the air source heat pump shall not be installed until these details have been approved in writing by the planning authority.

Reason: For the avoidance of doubt as to what is approved, no details having been provided as part of the application submission.

4. Any noise associated with the air source heat pump shall comply with the product and installation standards for air source heat pumps specified in the Micro-generation Certification Scheme MCS 020(a).

Reason: To protect the residential amenity of surrounding properties.

5. Development shall not begin until a bat survey has been carried out by a suitably qualified ecologist and any mitigation measures identified implemented in accordance with details to be submitted to and approved in writing by the planning authority. Development shall thereafter be carried out in accordance with the approved details or such alternatives as may be approved in writing with the planning authority.

Reason: To ensure the development accords with the requirements of policy DEV5 of the Proposed Midlothian Local Development Plan 2017.

6 Recommendations

- 6.1 It is recommended that the LRB:
 - a) determine the review; and
 - b) the planning advisor draft and issue the decision of the LRB through the Chair

Peter Arnsdorf
Planning, Sustainable Growth and Investment Manager

Date: 16 September 2022
Report Contact: Ingrid Forteath, Planning Officer
ingrid.forteath@midlothian.gov.uk

Background Papers: Planning application 21/00467/DPP available for inspection online.



**Education, Economy
& Communities**
Midlothian Council
Fairfield House
8 Lothian Road
Dalkeith
EH22 3AA

Alterations to increase roof height White Cottage, Gladhouse Reservoir, Temple

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Midlothian Council Licence No. 100023416 (2018)

File No.22/00467/DPP

Scale: 1:1,250





Fairfield House 8 Lothian Road Dalkeith EH22 3ZN Tel: 0131 271 3302 Fax: 0131 271 3537 Email: planning-applications@midlothian.gov.uk

Applications cannot be validated until all the necessary documentation has been submitted and the required fee has been paid.

Thank you for completing this application form:

ONLINE REFERENCE 100577466-004

The online reference is the unique reference for your online form only. The Planning Authority will allocate an Application Number when your form is validated. Please quote this reference if you need to contact the planning Authority about this application.

Applicant or Agent Details

Are you an applicant or an agent? * (An agent is an architect, consultant or someone else acting on behalf of the applicant in connection with this application)

☐ Applicant ☒ Agent

Agent Details

Please enter Agent details

Company/Organisation:	<input type="text" value="John Gilbert Architects"/>		
Ref. Number:	<input type="text"/>	You must enter a Building Name or Number, or both: *	
First Name: *	<input type="text" value="John Gilbert"/>	Building Name:	<input type="text" value="The White Studios"/>
Last Name: *	<input type="text" value="Architects"/>	Building Number:	<input type="text" value="201"/>
Telephone Number: *	<input type="text" value="01415518383"/>	Address 1 (Street): *	<input type="text" value="Templeton-on-the-Green"/>
Extension Number:	<input type="text"/>	Address 2:	<input type="text"/>
Mobile Number:	<input type="text"/>	Town/City: *	<input type="text" value="Glasgow"/>
Fax Number:	<input type="text"/>	Country: *	<input type="text" value="Lanarkshire"/>
		Postcode: *	<input type="text" value="G40 1DA"/>
Email Address: *	<input type="text" value="enquiries@johngilbert.co.uk"/>		

Is the applicant an individual or an organisation/corporate entity? *

☒ Individual ☐ Organisation/Corporate entity

Applicant Details

Please enter Applicant details

Title:	<input type="text" value="Mr"/>	You must enter a Building Name or Number, or both: *
Other Title:	<input type="text"/>	Building Name: <input type="text" value="White Cottage"/>
First Name: *	<input type="text" value="Konrad"/>	Building Number: <input type="text"/>
Last Name: *	<input type="text" value="Rawlik"/>	Address 1 (Street): * <input type="text" value="White Cottage"/>
Company/Organisation	<input type="text"/>	Address 2: <input type="text" value="Gladhouse Reservoir"/>
Telephone Number: *	<input type="text"/>	Town/City: * <input type="text" value="near Gorebridge"/>
Extension Number:	<input type="text"/>	Country: * <input type="text" value="Scotland"/>
Mobile Number:	<input type="text"/>	Postcode: * <input type="text" value="EH23 4TA"/>
Fax Number:	<input type="text"/>	
Email Address: *	<input type="text" value="REDACTED"/>	

Site Address Details

Planning Authority:	<input type="text" value="Midlothian Council"/>
Full postal address of the site (including postcode where available):	
Address 1:	<input type="text"/>
Address 2:	<input type="text"/>
Address 3:	<input type="text"/>
Address 4:	<input type="text"/>
Address 5:	<input type="text"/>
Town/City/Settlement:	<input type="text"/>
Post Code:	<input type="text"/>

Please identify/describe the location of the site or sites

<input type="text" value="White Cottage (north of Gladhouse Reservoir)"/>

Northing	<input type="text" value="654440"/>	Easting	<input type="text" value="330048"/>
----------	-------------------------------------	---------	-------------------------------------

Description of Proposal

Please provide a description of your proposal to which your review relates. The description should be the same as given in the application form, or as amended with the agreement of the planning authority: *
(Max 500 characters)

Retrofit of the existing single storey White Cottage. Remove existing hipped roof and chimneys. Erect new timber stud first floor and roof with gables to create a new first floor. Ground floor build up replaced with insulated floor. Existing ground floor walls to have external wall insulation and new white render finish applied. New first floor walls and roof to be highly insulated and wrapped in metal cladding. New energy efficient glazing and doors installed throughout. ASHP and MVHR installed

Type of Application

What type of application did you submit to the planning authority? *

- ☒ Application for planning permission (including householder application but excluding application to work minerals).
- ☐ Application for planning permission in principle.
- ☐ Further application.
- ☐ Application for approval of matters specified in conditions.

What does your review relate to? *

- ☒ Refusal Notice.
- ☐ Grant of permission with Conditions imposed.
- ☐ No decision reached within the prescribed period (two months after validation date or any agreed extension) – deemed refusal.

Statement of reasons for seeking review

You must state in full, why you are seeking a review of the planning authority's decision (or failure to make a decision). Your statement must set out all matters you consider require to be taken into account in determining your review. If necessary this can be provided as a separate document in the 'Supporting Documents' section: * (Max 500 characters)

Note: you are unlikely to have a further opportunity to add to your statement of appeal at a later date, so it is essential that you produce all of the information you want the decision-maker to take into account.

You should not however raise any new matter which was not before the planning authority at the time it decided your application (or at the time expiry of the period of determination), unless you can demonstrate that the new matter could not have been raised before that time or that it not being raised before that time is a consequence of exceptional circumstances.

We have designed a high quality and energy efficient retrofit of an existing home with extensive pre-planning engagement. We had agreed the design with the planning officer pending some minor comments on window positioning which is not sufficient grounds for refusing an application as this is down to personal taste of the planning officer. The refusal report was contradictory to previous discussions, unprofessional and hugely disappointing. We believe the scheme meets all planning requirements.

Have you raised any matters which were not before the appointed officer at the time the Determination on your application was made? *

☐ Yes ☒ No

If yes, you should explain in the box below, why you are raising the new matter, why it was not raised with the appointed officer before your application was determined and why you consider it should be considered in your review: * (Max 500 characters)

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review. You can attach these documents electronically later in the process: * (Max 500 characters)

- Refusal of Planning Permission - Statement to Midlothian Council Local Review Body - all existing and proposed drawings as issued as part of planning application

Application Details

Please provide the application reference no. given to you by your planning authority for your previous application.

22/00467/DPP

What date was the application submitted to the planning authority? *

22/06/2022

What date was the decision issued by the planning authority? *

05/08/2022

Review Procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Can this review continue to a conclusion, in your opinion, based on a review of the relevant information provided by yourself and other parties only, without any further procedures? For example, written submission, hearing session, site inspection. *

☒ Yes ☐ No

In the event that the Local Review Body appointed to consider your application decides to inspect the site, in your opinion:

Can the site be clearly seen from a road or public land? *

☒ Yes ☐ No

Is it possible for the site to be accessed safely and without barriers to entry? *

☒ Yes ☐ No

Checklist – Application for Notice of Review

Please complete the following checklist to make sure you have provided all the necessary information in support of your appeal. Failure to submit all this information may result in your appeal being deemed invalid.

Have you provided the name and address of the applicant? *

☒ Yes ☐ No

Have you provided the date and reference number of the application which is the subject of this review? *

☒ Yes ☐ No

If you are the agent, acting on behalf of the applicant, have you provided details of your name and address and indicated whether any notice or correspondence required in connection with the review should be sent to you or the applicant? *

☒ Yes ☐ No ☐ N/A

Have you provided a statement setting out your reasons for requiring a review and by what procedure (or combination of procedures) you wish the review to be conducted? *

☒ Yes ☐ No

Note: You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. You may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

Please attach a copy of all documents, material and evidence which you intend to rely on (e.g. plans and Drawings) which are now the subject of this review *

☒ Yes ☐ No

Note: Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice (if any) from the earlier consent.

Declare – Notice of Review

I/We the applicant/agent certify that this is an application for review on the grounds stated.

Declaration Name: . John Gilbert Architects

Declaration Date: 23/08/2022

White Cottage - 22/00467/DPP **Refusal of Planning Permission**

Statement to Midlothian Council Local Review Body

V1 John Gilbert Architects, 22/08/2022

Summary of case 22/0047/DPP

This retrofit project looks to extend and maximise the energy efficiency of an existing three bedroom family bungalow adjacent to Gladhouse Reservoir. The existing home is cold and draughty which is both uncomfortable and costly for the clients, especially given the ongoing energy cost increases.

We are proposing to add a new roof, providing the family with a new first floor level, while upgrading the existing building fabric to be thermally efficient. We are also proposing the installation of an air source heat pump (renewable zero carbon heating) and mechanical ventilation heat recovery (MVHR) which will minimise the home's heating requirement. The clients has confirmed they would like to strive for EnerPHit standard (Passivhaus equivalent for retrofit) which is the highest energy efficiency standard when working with existing buildings and the heating requirement should be reduced by 90%. We have developed a high quality contemporary design that is sympathetic to the neighbours property that does not try to mimic the existing cottage aesthetic but clearly defines it as modern.

We have had extensive pre-planning discussions with the planning officer, Ingrid Forteath, since February 2022. She has provided detailed feedback via email on several occasions and we have developed our design accordingly. It was agreed early on that the home should have an overall contemporary aesthetic and we were told the use of dormer windows would not be acceptable to the new first floor level. The roof apex will increase by approx. 1.35m but will remain lower than the neighbours' roof apex, this is demonstrated on our proposed cross section drawings. The design submitted for planning permission was the third design option we had drawn up based on Ingrid's feedback, and by mid June, Ingrid confirmed the scheme to be acceptable. Her final comments were very minor (relating to window sizes and areas of timber cladding) and would not be sufficient grounds to refuse planning permission, so we submitted our application on 22nd June 2022.

The client and ourselves were incredibly disappointed to receive a refusal of planning permission on 9th August as the scheme was agreed except for some very minor comments. Having read the 'Recommendation Report' via the online case file, the client and ourselves are incredibly frustrated and disappointed by the comments received as we are both happy with the design proposals and thought we were in a strong position given the level of pre-planning engagement. Many of the comments received were answered months ago and there seems to be absolutely no cognisance of the energy efficiency works and building refurbishment side to this project. We feel we have done everything that has been asked of us from a planning perspective and cannot understand how planning has been refused given the comments received.

This document outlines the case in full and includes detailed information on the existing site, proposed works and responses to the planning comments received.

1. The existing site and house
2. The proposed house
3. Benefits of the development
4. Supporting information
5. Reasons for refusal and agent responses
6. Appendix A - comments on south glazing

The existing site and house

The existing site sits to the north of Gladhouse Reservoir near Gorebridge. There is a minor rural road running from west to east to the north of the reservoir dam. At the west end of the dam there are four dwellings, three to the north of the road and one to the south. White Cottage is the most north easterly building. The neighbouring building is a traditional sandstone cottage with a small modern extension to the east. The surrounding area is mostly open fields but there are pockets of woodland to the east and south. The dam slopes down to the road so White Cottage sits lower than the dam.

White Cottage is a single storey home (assumed 1930's) with a hipped pitched roof covered in red roman style roof tiles and two large chimneys. The walls are double skin masonry with a white render finish with a partially vented cavity and no insulation. The existing windows are uPVC double glazed and are in a traditional cottage style. The existing floor is mainly suspended timber floor with small areas of ground bearing concrete. The existing floor was insulated in recent years but the works were done badly and it needs replacing. There is a small porch extension to the east side of the home that was erected in 2017. There are generous garden spaces to the north, east and south of the home. None of the other surrounding buildings have hipped roofs or red roof tiles.

Please refer to the existing drawings for full details of the house.



The proposed house

There are three key elements to the proposals from the client's perspective:

- i) improved internal layout at ground floor and new first floor
- ii) improve energy efficiency of the home
- iii) updated external appearance to tie existing and proposed together

The ground floor layout has been consolidated to provide a larger bathroom, large master bedroom and more usable living room. A new double height hallway and staircase has been included to provide access to the rear garden and new first floor level. All window sizes and positions remain as existing with the exception of the new rear door and glazed side panel. Refer to proposed ground floor plan for full details.

At first floor there will be an open plan landing with informal sitting room, two generously sized double bedrooms, a new bathroom and storage. The bedrooms and sitting room will offer picturesque views over the reservoir to the south. The wall head will only be slightly raised by 1.2m to minimise the increase in building height while providing the client with as much usable space internally as possible. The new roof apex will remain below the level of the neighbours' apex to the west. The existing chimneys will be removed as they are very poor for energy efficiency. In lieu of dormer windows we have proposed sloping 'L' shape roof windows that give the rooms plenty of light, solar gain (passive space heating from the sun) and views out, while ensuring the external appearance has a contemporary aesthetic. Refer to proposed first floor plan for full details.

As the home is called 'White Cottage' the clients were keen to ensure it still lived up to its name so the three materials proposed externally are: white silicone render, zinc roof / wall cladding and vertical timber cladding. The natural timber cladding has been used to soften predominantly white and grey elevations and carefully positioned to tie in the ground floor and first floor openings, see red lines on elevations below. All the windows will be replaced with timber frame triple glazed Passivhaus certified windows. These are high performance windows minimising heat lost to the outside to further reduce the heating demand of the home. Refer to proposed elevations for full details.





The existing ground floor and external walls will all be fully insulated and made airtight (to minimise heat loss to outside). This insulation / airtightness line will be continued up via the new first floor walls and roof to provide the clients with a fully insulated and airtight home. This keeps the home warm in the cold winter but also keeps the home cool during periods of excessive heat in summer. Given recent the recent heatwaves these kind of retrofit works to existing buildings will need to be employed all across the UK in the coming years.

The home will be heated via an air source heat pump (ASHP) which uses an external unit to take heat from the air and heat an internal water cylinder which provides hot water for sinks, showers, baths and space heating (radiators). This is a renewable zero carbon heating solution. There will be a conservative amount of photovoltaic (PV) roof panels providing the clients with renewable electricity. We have also proposed a mechanical ventilation heat recovery (MVHR) unit which brings in fresh air while extracting stale moist air and transferring the heat to the incoming fresh air. This means you aren't exhausting internal heat to the outside and this massively reduces the heating demand of the home. Our proposals will optimise the internal environment and maximise the occupant's health and benefit them financially.

The glazing to the south (front) elevation has been carefully sized and positioned to control solar gain to minimise the risk of overheating while making the most of the views across the reservoir and maintaining the clients privacy. The footpath along the dam is at first floor level so walkers will be passing here regularly, see below images and refer to Appendix A for full details.



The proposed roof apex height (yellow dashed line) will increase by a maximum 1.35m which would be approximately the height of the existing chimney pots, but most importantly, the new apex will be below the level of the neighbouring stone cottage (red line). Refer to existing site photo below demonstrating this. The new roof will have gables rather than hips which will fit into the local context far better. All the neighbouring buildings have slate tiled gable roofs so the proposed roof will be more suitable than the existing. This was not covered in any comments received from planning.



Benefits of the proposed works

1. Upgraded existing building fabric - protecting the existing building and future proofing it for a fluctuating and unpredictable climate
2. High performance walls and roof at first floor level - providing the clients with an energy efficient and comfortable home with internal accommodation as required
3. Renewable energy technology - combining an ASHP and PV roof panels with the MVHR to minimise the heating demand and maximise efficiency of heating
4. Occupant health and finances - a more energy efficient home means maximising occupant health and reducing energy bills by approx 90%
5. Surrounding context - none of the neighbouring buildings have red tiles or hipped roofs so the proposed gable roof with grey cladding will fit in with the local context far better than the existing house

Supporting information

Please refer to the existing and proposed drawings submitted as part of the planning application for full details of proposed works.

Reasons for refusal and agent responses

The below reasons are as stated in the 'Refusal of Planning Permission' report received on 9th August 2022. We have outlined responses to each.

1. The proposed alterations are neither sympathetic to the character of the existing building or of a sufficient high quality design as to warrant approval of such substantial alterations. The current proposal would detract from the existing character of the application property and the visual amenity of the surrounding area.

Our previous versions of the design retained the existing 'cottage aesthetic' to the ground floor while adding a new first floor and roof but it was agreed with planning that this was not acceptable and an 'overall contemporary approach' was to be adopted. This statement is contradictory to the reasons given in the handling report. Our proposals provide a cohesive overall contemporary building which was the preferred direction agreed with planning. This avoids any new work looking like an addition which has been stuck on to an existing building. The planning proposals use high quality materials throughout and will be detailed in a robust and elegant manner.

The comments received in the handling report are contrary to previous discussions, totally subjective (down to the personal tastes of the planning officer) and unprofessional. We have never received a report containing such poorly argued comments and it is our opinion that the planner has become transfixed on minor details such as window sizes when there is a far bigger picture to be seen given the climate emergency and escalating energy prices.

2. For the above reasons the proposal is contrary to the aims of Scottish Planning Policy which supports good design and policy ENV 6 of the adopted Midlothian Local Development Plan 2017 which requires that development proposals incorporate high standards of design.

As stated above, we believe reason 1 is flawed and contrary to previous discussions.

Our design proposals have been carefully considered and designed to suit the client's needs and local rural context. We have specified high quality materials that are in keeping with the surroundings and offer high performance in terms of energy efficiency.

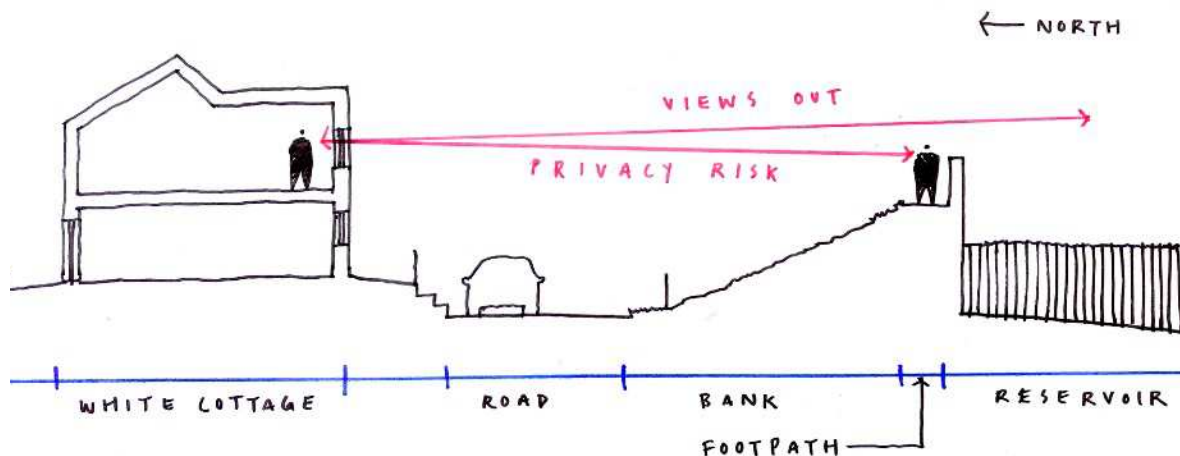
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Appendix A - comments on south glazing

The below mark ups were received from Ingrid Forteath on 17th June 2022. These show the proposed south elevation with variations of glazing and timber cladding shapes and sizes. We confirmed that the glazing to the south elevation had specifically been designed to control solar gain (heat from the sun) and maintain privacy from the footpath along the dam, see below sketch section. These received sketches are naive and based entirely on personal taste and aesthetics which is not how planning policy or architecture should ever be applied and shows a complete lack of understanding.

We believe we have suitably demonstrated how and why elevations are as proposed and that they are based on sound reasoning relating to energy, privacy, internal function and aesthetics. To do anything other than this would be irrational and naive.



[REDACTED]

Sent: 29 July 2022 12:41

To: Ingrid Forteath <Ingrid.Forteath@midlothian.gov.uk>

Subject: application ref no. 22/00467/DPP

CAUTION: This email originated from outside Midlothian Council. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Dear Ingrid Forteath,

I wish to make a formal public comment regarding the extension at White cottage, Gladhouse Midlothian EH23 4TA. It is as follows.

I have seen the plans to White Cottage for its proposed extension. I personally have no objection to the overall proposal as the most immediate and only neighbour overlooking the property. In fact I was surprised at the difficulty in raising the roof line given the climate emergency, fuel costs etc. It is far more fuel and energy efficient to build and insulate 2-3 storey properties than extend by adding on single storey units. Something planning departments should definitely be taking into account. I do wonder whether the roofing material which is currently metal is the most appropriate given the setting and the location. My view whilst not an objection to the overall plan would be that some form of slate or tile might be more appropriate as a roofing material in a rural setting.

Regards

Jonathan Steele

[REDACTED]

ACKNOWLEDGED
05.08.2022

MIDLOTHIAN COUNCIL

DEVELOPMENT MANAGEMENT PLANNING APPLICATION DELEGATED WORKSHEET:

Planning Application Reference: 22/00467/dpp

Site Address: White Cottage, Gladhouse Reservoir, Temple, Gorebridge

Site Description:

The application property comprises a single storey detached dwellinghouse in a rural setting on the north side of and overlooking Gladhouse Reservoir. The house is finished externally in white painted render with brown contoured concrete roof tiles and white upvc window frames.

Proposed Development:

Alterations to dwellinghouse to increase roof height

Proposed Development Details:

It is proposed to remove the existing roof over the cottage and raise the wall head and form a new pitched gable end roof with a gable feature at the front to provide accommodation at first floor level. The submitted plans indicate that the ridge of the roof will be 1.2m higher than the existing ridge. The house as altered is to be finished externally in smooth white render with panels of timber cladding at ground floor level and charcoal zinc cladding on the walls at first floor level and on the roof. The front south facing roof plan incorporates solar panels. First floor windows are specified as being timber with a charcoal coloured external finish. Ground floor window are noted as being timber but the colour has not been specified.

An air source heat pump is also proposed attached to the rear elevation of the existing building. No details of the external appearance of the air source heat pump have been submitted.

Background (Previous Applications, Supporting Documents, Development Briefs):

History sheet checked.

Consultations:

The Wildlife Information Centre have recommended that due to the extensive roof works planned and bearing in mind the surrounding habitats (woodland and wetland within 200m) a bat survey should be carried out by a suitably qualified ecologist.

Representations:

One representation has been received in relation to the application raising no objection to the proposal but suggesting that either slate or tiles on the roof would be more appropriate in a rural setting. Surprise is expressed at the difficulty in raising the roof line given the climate emergency, fuel costs etc. stating that it is far more fuel and energy efficient to build and insulate 2-3 storey properties than extend by adding on single storey units which planning departments should take into account.

Relevant Planning Policies:

The Scottish Governments Scottish Planning Policy document supports good design and seeks to protect the amenity of existing development.

The relevant policies of the **Midlothian Local Development Plan 2017** are;

RD1 – Development in the Countryside - states that development in the countryside will only be permitted if it is required for the furtherance of agriculture, including farm related diversification, horticulture, forestry, countryside recreation or tourism; it accords with policies RD2, MIN1, NRG1 or NRG2; or it accords with the Council's Supplementary Guidance on Development in the Countryside and Green Belt. For housing, this is limited to homes required to support an established countryside activity.

ENV6 – Special Landscape Areas – states that development proposals will only be permitted where they incorporate high standards of siting and design and where they will not have significant adverse effect on the special landscape qualities of the area.

It is noted that policy DP6 House Extensions, from the now superseded 2008 Midlothian Local Plan, set out design guidance for new extensions requiring that they are well designed in order to maintain or enhance the appearance of the house and the locality. The policy guidelines contained in DP6 also relate to size of extensions, materials, impact on neighbours and remaining garden area. It also states that front porches to detached or semi-detached houses are usually acceptable provided they project less than two metres out from the front of the house. It also allowed for novel architectural solutions. The guidance set out within this policy has been successfully applied to development proposals throughout Midlothian and will be reflected within the Council's Supplementary Guidance on Quality of Place which is currently being drafted.

Planning Issues:

The main planning issue to be considered is whether or not the proposal complies with the development plan policies and, if not, whether there are any material planning considerations which would otherwise justify approval. As this is an existing house there is no objection in principle to its extension.

The existing property at single storey and with a hipped roof is relatively modest in scale and as a result is not a dominant feature in the landscape. It is pleasant in character with its symmetrical form and bell cast hipped roof.

The proposed alterations will radically change the character of the house. This alone does not preclude consideration of the proposed scheme. The scheme has been the subject of pre-application negotiation. The agent was advised that a contemporary approach may be acceptable however this would need to form part of an overall design concept for the whole of the house, including fenestration at ground floor level and the use of high quality external materials. This was not advised as being the only option available. The general form of the proposal is acceptable. Subject to the proposed zinc roofing forming part of an overall design concept as referred to previously the introduction of this material at the site, also taking in to account the existing concrete roof tiles, at this location would not detract from the character of the area. It was the agent who suggested that the roof height be increased by 1.35m in

response to which he was advised that raising the roof height so as to not exceed the roof height of Stone Cottage next door may be acceptable. In order to consider an extension of the form and size proposed it would need to be of a very high quality design finished in high quality materials. The success of the extension would be very much dependent on these details in order to be considered an improvement on the existing situation. A sticking point has been the treatment of in particular the front elevation especially the front gable and the standard design of the windows. The building as altered will be more prominent than the existing building as a result of the increase in its height and the form of the roof and the large front gable feature. The agent was advised that the panels of timber cladding appear tokenistic and should be deleted from the scheme. The agent was also advised of concern that the front gable will appear as a bulky addition. It was suggested that this would be improved if the two windows at ground level on the front elevation were extended with a further window in the middle to form a bank of glazing with the area of glazing at first floor level also significantly increased.

The agent responded as follows:

- south facing windows to the central gable have been sized specifically to control solar gain, any larger could result in overheating and uncomfortable internal conditions for the client. These upper windows also look out over Gladstone reservoir so we would have concerns over privacy about dog walkers etc. looking into the larger gable windows
- combining the ground floor windows would also not be practical as these are sized as existing and combining these would require considerable structural works which the client does not want to do
- timber cladding softens the palette of materials (grey metal and white render could be very stark on its own) and these tie in with key points on the building so window jambs etc are aligned from existing to new

Further possible options were presented to the agent which did not include excessive areas of glazing above what is currently being proposed along with timber cladding as part of a design feature on the gable to help soften its appearance as opposed to the currently proposed smaller panels of cladding. These suggestions were not taken up or explored further by the agent with the Planning Authority and the currently submitted scheme has not changed since the final pre-application submission.

The proposed alterations are not sympathetic to the character of the existing building and appear as a lacklustre attempt at contemporary design not of a sufficient high quality design as to warrant approval of such substantial alterations. This is a shame as from looking at the agent's website they are clearly capable of more interesting designs. The current proposal would detract from the existing character of the application property and the visual amenity of the surrounding area.

The air source heat pump is to be located at the rear of the house and will not have a significant impact on the character and appearance of the property or the visual amenity of the area. Should planning permission be forthcoming it would be appropriate to condition noise levels in relation to operation of the air source heat pump.

The proposals will not have a significant impact on the amenity of the occupiers of the neighbouring property.

Recommendation:

Refuse planning permission



Reg. No. 22/00467/DPP

John Gilbert Architects
The White Studios
201 Templeton-on-the-Green
Glasgow
G40 1DA

Midlothian Council, as Planning Authority, having considered the application by Mr Konrad Rawlik, White Cottage, Gladhouse Reservoir, Gorebridge, EH23 4TA, which was registered on 30 June 2022 in pursuance of their powers under the above Acts, hereby **refuse** permission to carry out the following proposed development:

Alterations to dwellinghouse to increase roof height at White Cottage, Gladhouse Reservoir, Temple, Gorebridge, Midlothian, EH23 4TA

In accordance with the application and the following documents/drawings:

<u>Document/Drawing.</u>	<u>Drawing No/Scale</u>	<u>Dated</u>
Location Plan	(LP)01 B	30.06.2022
Existing Elevations	(EE)01 A 1:50	30.06.2022
Existing Elevations	(EE)02 A 1:50	30.06.2022
Site Plan	(EP)01 B 1:200	30.06.2022
Existing Ground Floor Plan	(EP)03 A 1:50	30.06.2022
Existing Cross Section	(ES)01 A 1:50	30.06.2022
Illustration/Photograph	(PD)01 A	30.06.2022
Illustration/Photograph	(PD)02 A	30.06.2022
Proposed Elevations	(PE)01 A 1:50	30.06.2022
Proposed Elevations	(PE)02 A 1:50	30.06.2022
Proposed Ground Floor Plan	(PP)01 A 1:50	30.06.2022
Proposed First Floor Plan	(PP)02 A 1:50	30.06.2022
Proposed Roof Plan	(PP)03 A 1:50	30.06.2022
Proposed Cross Section	(PS)01 A 1:50	30.06.2022
Proposed Cross Section	(PS)02 A 1:50	30.06.2022

The reasons for the Council's decision are set out below:

1. *The proposed alterations are neither sympathetic to the character of the existing building or of a sufficient high quality design as to warrant approval of such substantial alterations. The current proposal would detract from the existing character of the application property and the visual amenity of the surrounding area.*
2. *For the above reasons the proposal is contrary to the aims of Scottish Planning Policy which supports good design and policy ENV 6 of the adopted Midlothian Local Development Plan 2017 which requires that development proposals incorporate high standards of design.*

Dated 05 / 08 /2022



.....
Matthew Atkins - Lead Officer Planning Obligations
Fairfield House, 8 Lothian Road, Dalkeith, EH22 3ZN



**The Coal
Authority**

Any Planning Enquiries should be directed to:

Planning and Local Authority Liaison
Direct Telephone: 01623 637 119
Email: planningconsultation@coal.gov.uk
Website: www.gov.uk/coalauthority

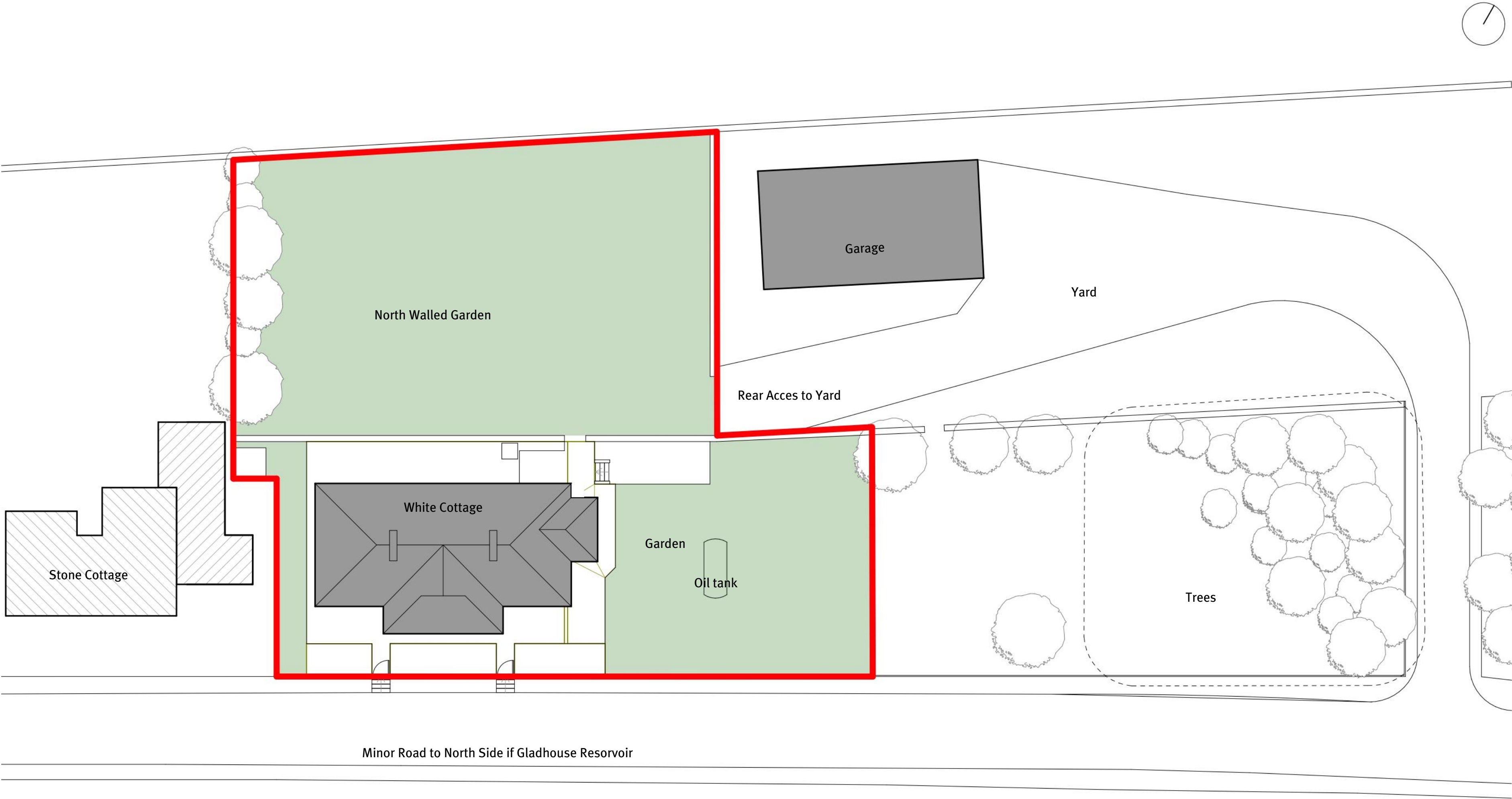
STANDING ADVICE

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at:
www.gov.uk/government/organisations/the-coal-authority

Standing Advice valid from 1st January 2021 until 31st December 2022

Notes / Key:



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Any discrepancies to be brought to the attention of the architect - if in doubt, ask.

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John Gilbert
ARCHITECTS

201 White Studios, 62 Templeton Street, Glasgow, G40 1DA
Tel: 0141 551 8383
Web: www.johngilbert.co.uk

Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
SITE LAYOUT

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:200

Drawn by
BLU

Date of Issue
10/03/2021

Rev. Amendment Date
B Site photos added. Issued for planning 20/06/2022

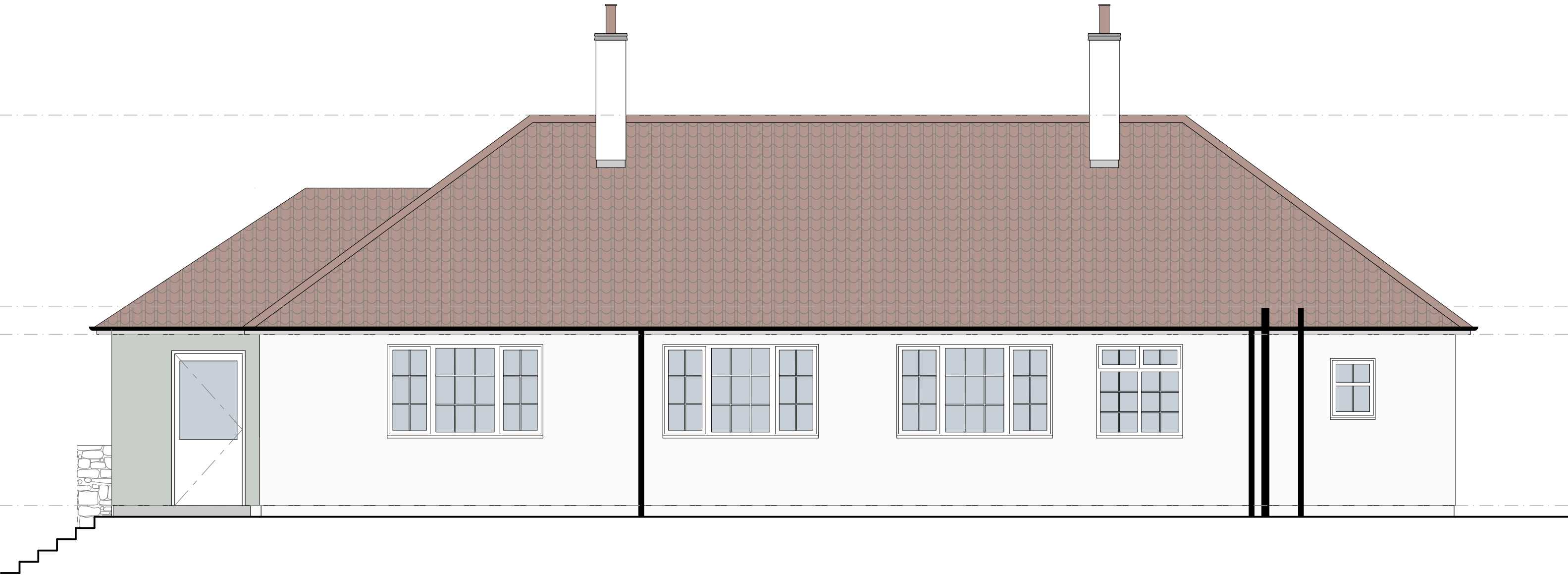
Drg No. Rev
[EP]01_B



Existing Site Photos



Existing Front Elevation



Existing Rear Elevation

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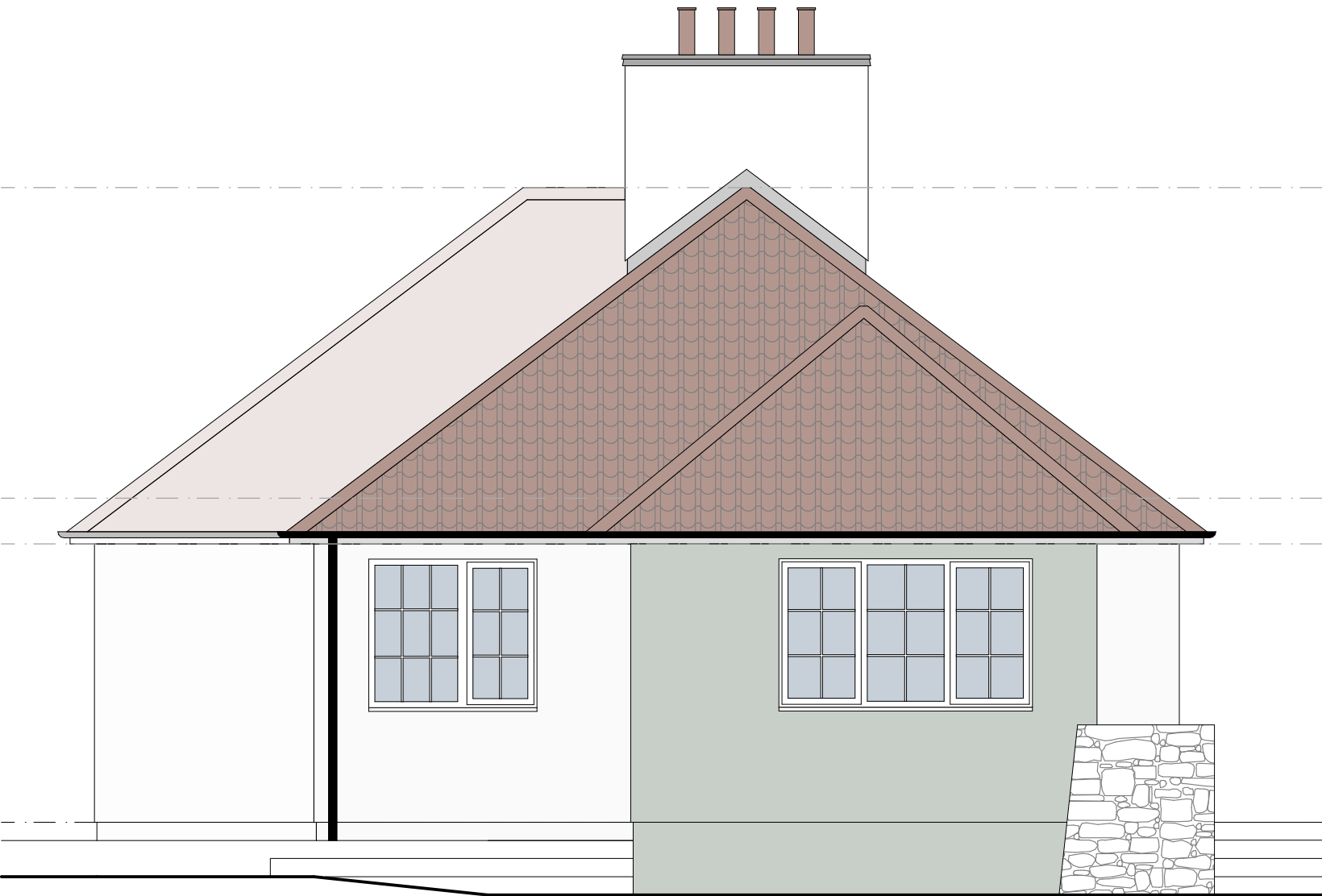
201 White Studios, 62 Templeton Street, Glasgow, G40 1DA
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Client		
JASMIN PARIS & KONRAD RAWLIK		
Project		
WHITE COTTAGE GOREBRIDGE		
Title		
EXISTING FRONT AND REAR ELEVATIONS		
Project Status		
FEASIBILITY		
Job No	Scale at A2	
04377	1:50	
Drawn by	Date of issue	
DC	20/06/2022	
Rev.	Amendment	Date

Drg No. Rev
[EE]01_A



Existing Gable Elevation



Existing Gable Elevation

Notes / Key:

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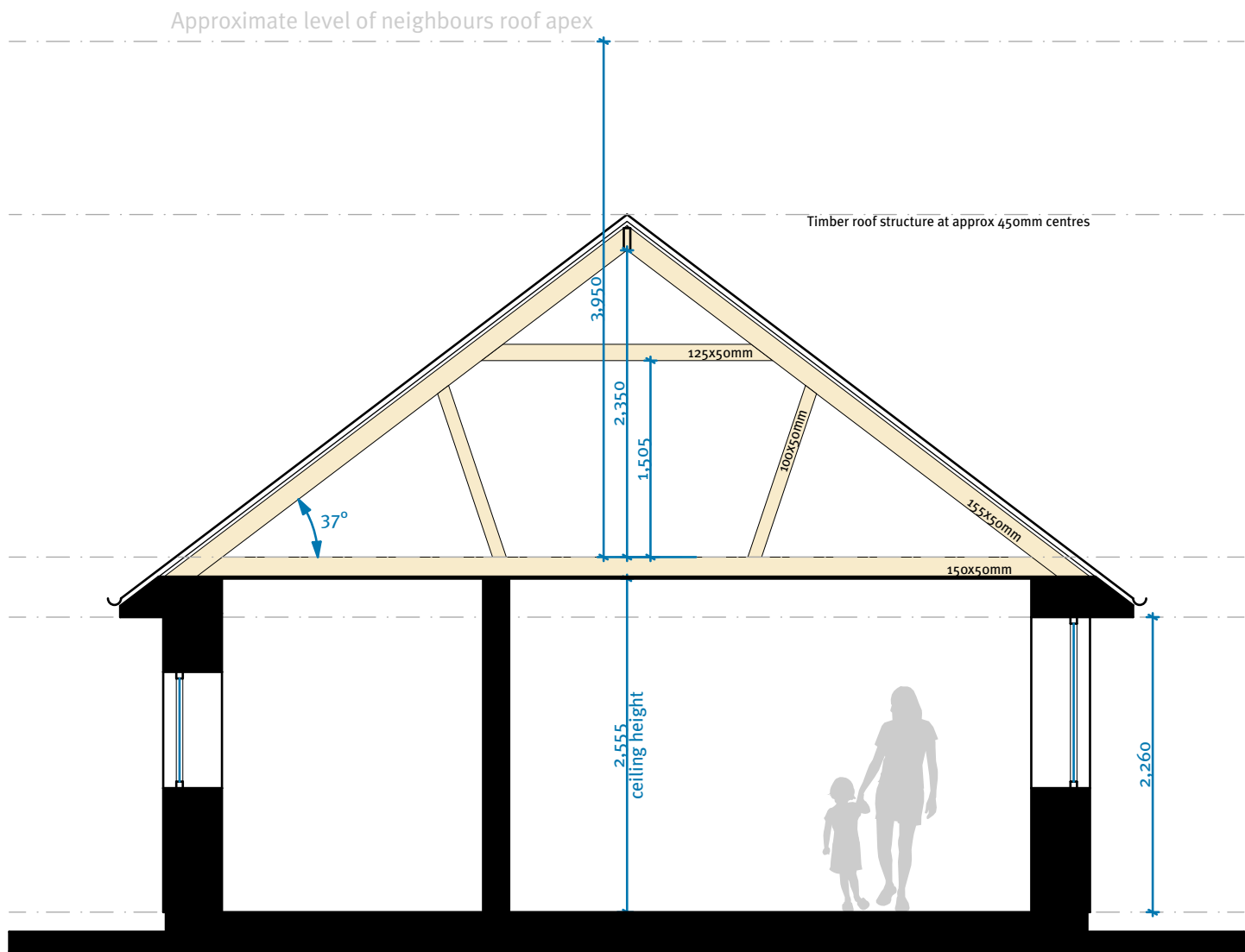
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Client	
JASMIN PARIS & KONRAD RAWLIK	
Project	
WHITE COTTAGE GOREBRIDGE	
Title	
EXISTING GABLE ELEVATIONS	
Project Status	
FEASIBILITY	
Job No	Scale at A2
04377	1:50
Drawn by	Date of issue
DC	20/06/2022
Rev.	Amendment
	Date

Drg No. Rev
[EE]02_A



Existing Cross Section

Notes / Key:

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John Gilbert
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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
EXISTING CROSS SECTION 01

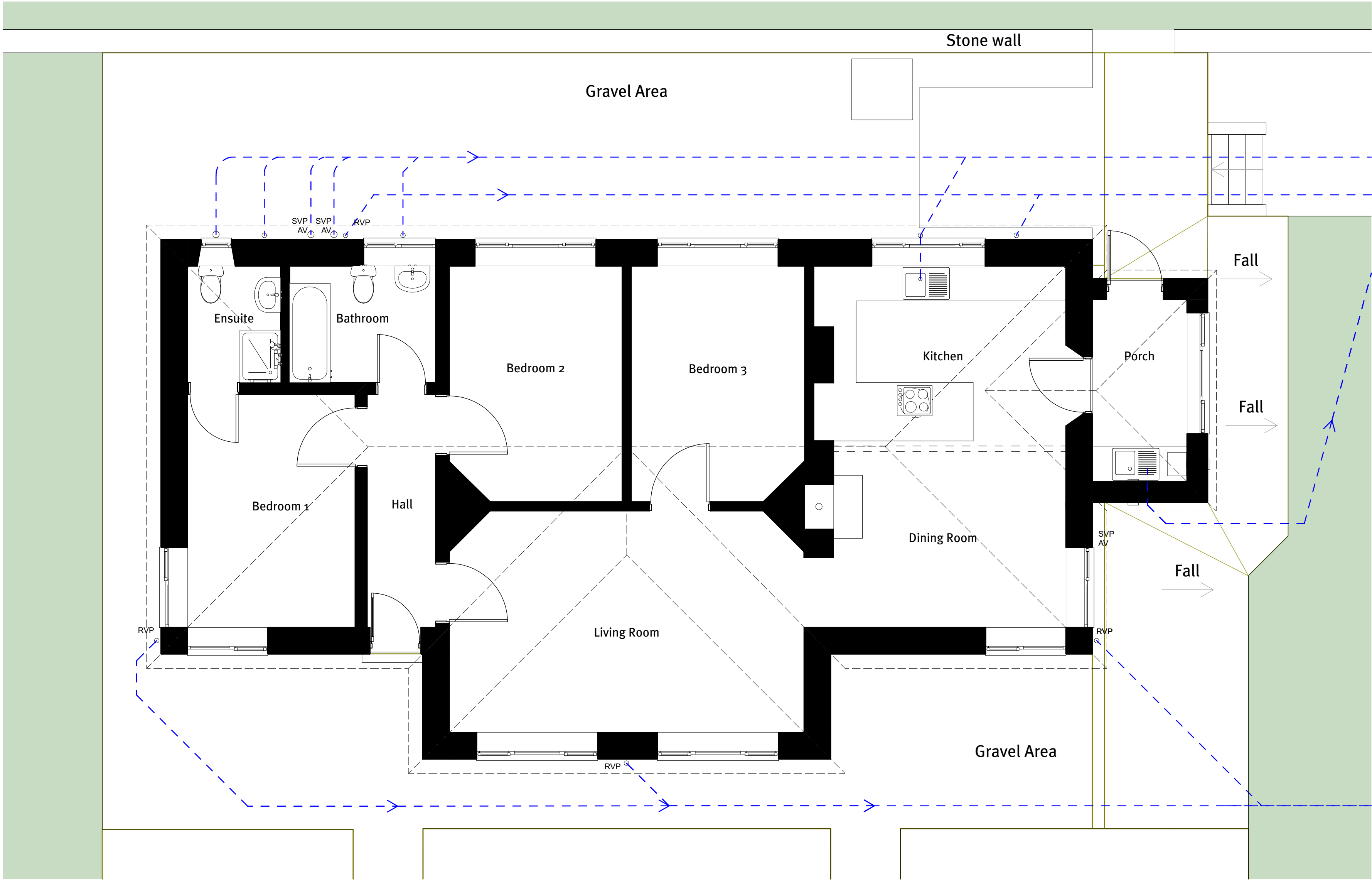
Project Status **FEASIBILITY**

Job No **04377** Scale at A3 **1:50**

Drawn by **DC** Date of issue **20/06/2022**

Rev. Ammendment Date

Drg No. Rev
[ES]01_A



Existing Ground Floor Plan

Notes / Key:

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Client
JASMIN PARIS & KONRAD RAWLIK

Project
WHITE COTTAGE GOREBRIDGE

Title
EXISTING GROUND FLOOR PLAN

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:50

Drawn by
DC

Date of issue
20/06/2022

Rev. Amendment Date

Drg No. Rev
[EP]03_A



Proposed Rear View



Proposed Front View

Notes / Key:

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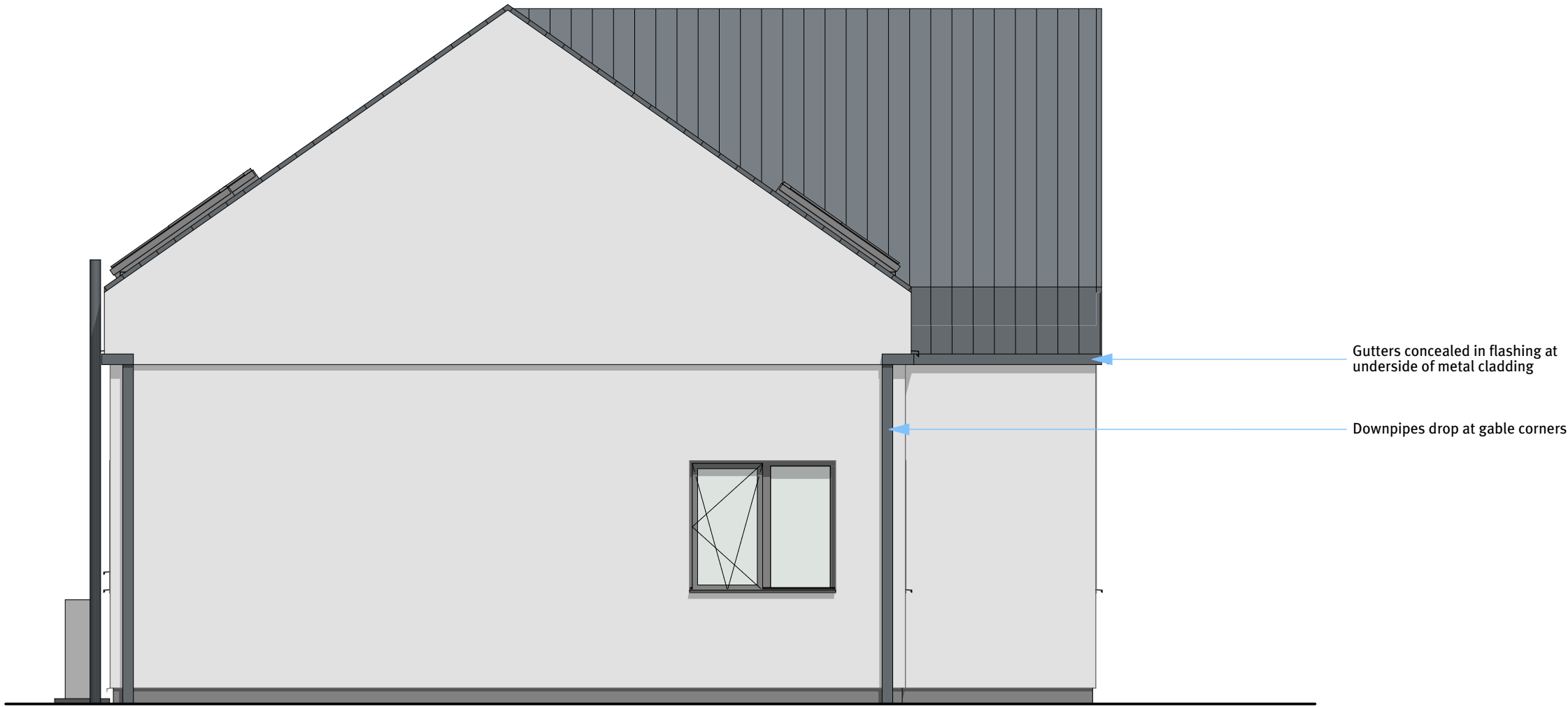
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WHITE COTTAGE GOREBRIDGE	
Title	
PROPOSED EXTERNAL 3D VIEWS	
Project Status	
FEASIBILITY	
Job No	Scale at A2
04377	
Drawn by	Date of issue
DC	20/06/2022
Rev.	Amendment
	Date

Drg No. Rev
[PD]01_A



Proposed Gable 1 Elevation



Proposed Gable 2 Elevation

Notes / Key:



Metal standing seam
roof and wall cladding,
charcoal in colour



K Rend 'Silicone TC30 -
Pure White' render to
external wall insulation



Vertical timber cladding

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Project
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Title
PROPOSED GABLE ELEVATIONS

Project Status
FEASIBILITY

Job No
04377

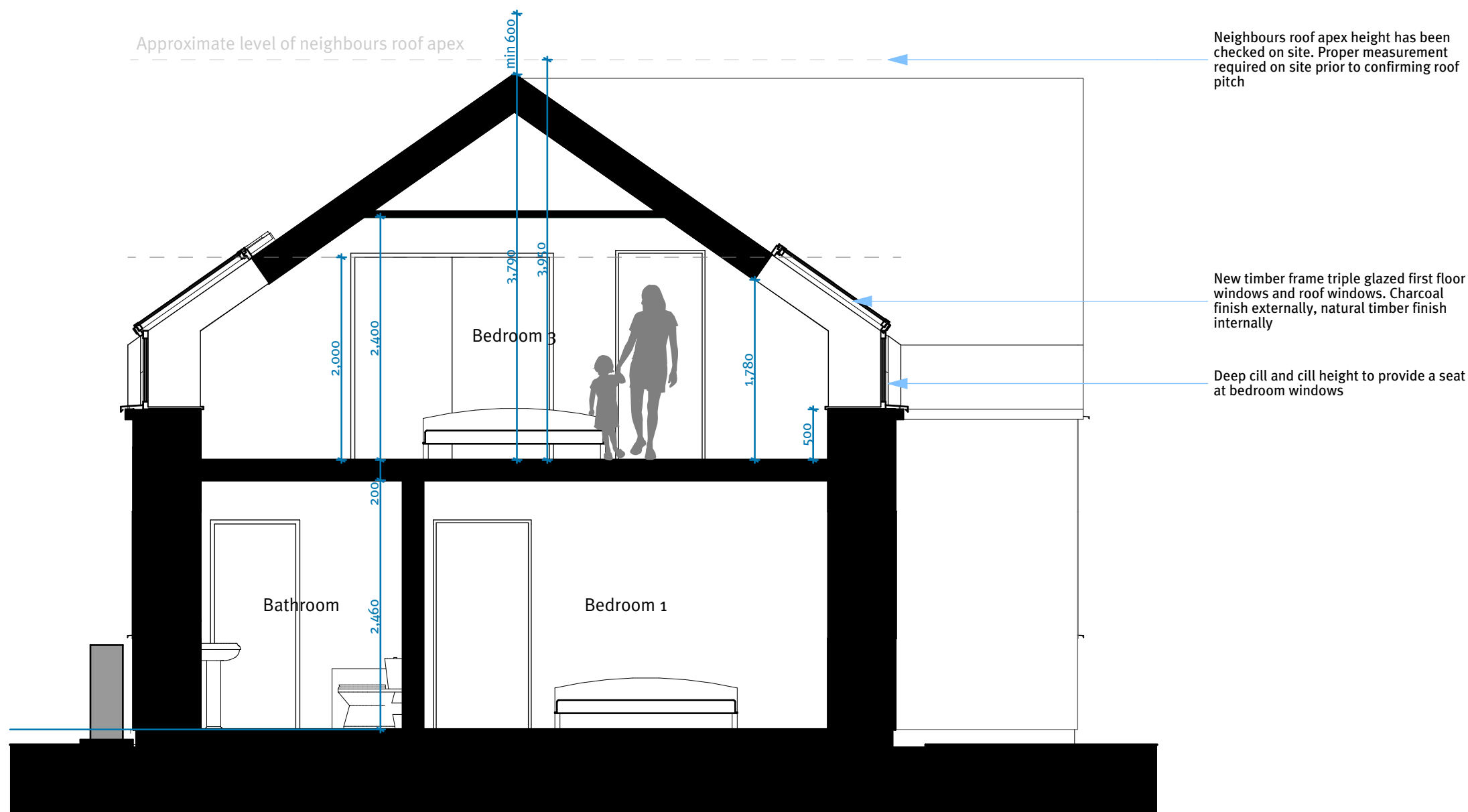
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[PE]02_A



Proposed Cross Section 01

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED CROSS SECTION 01

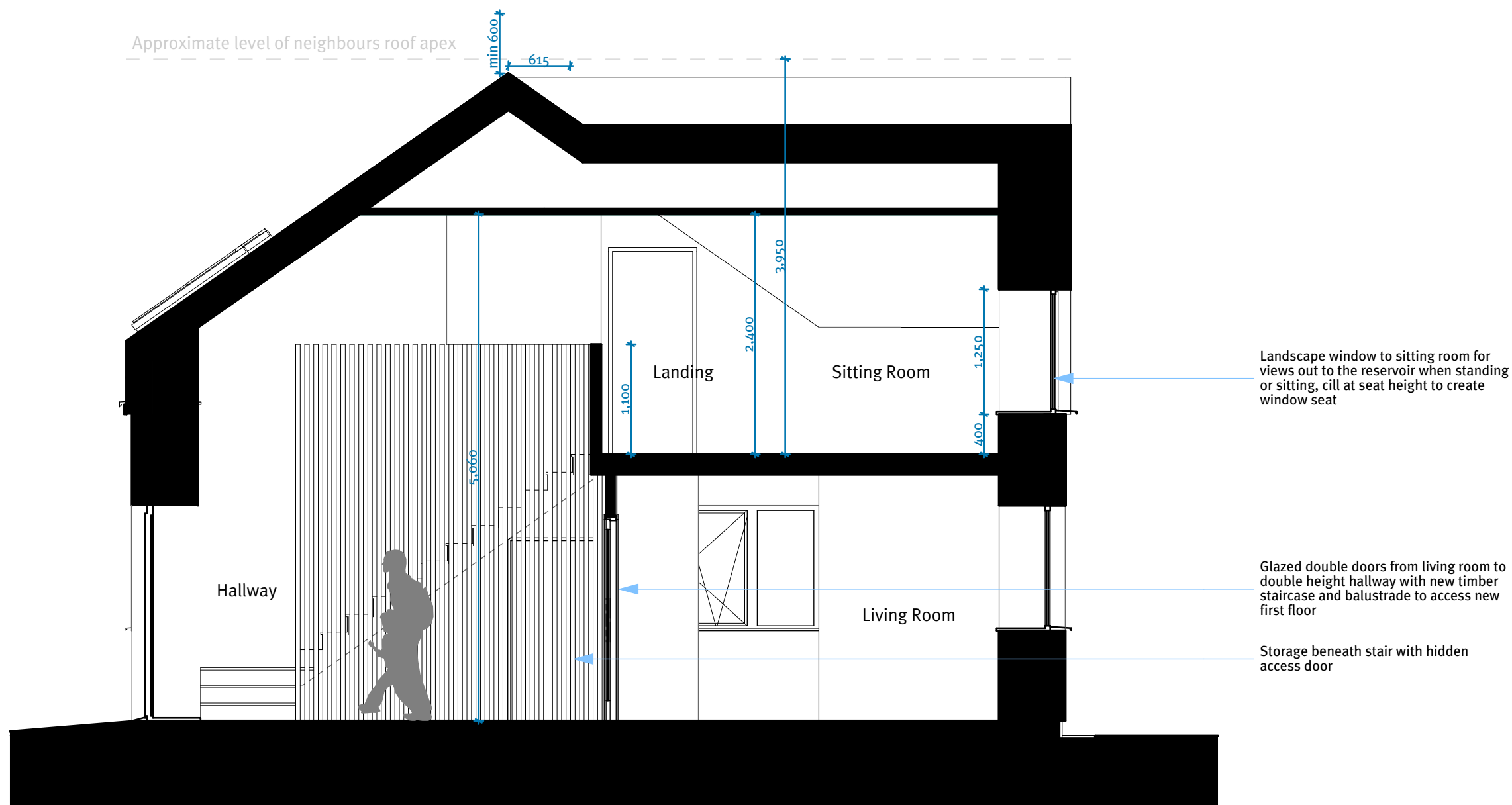
Project Status **FEASIBILITY**

Job No **04377** Scale at A3 **1:50**

Drawn by **DC** Date of issue **20/06/2022**

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[PS]01_A



Proposed Cross Section 02

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED CROSS SECTION 02

Project Status **FEASIBILITY**

Job No **04377** Scale at A3 **1:50**

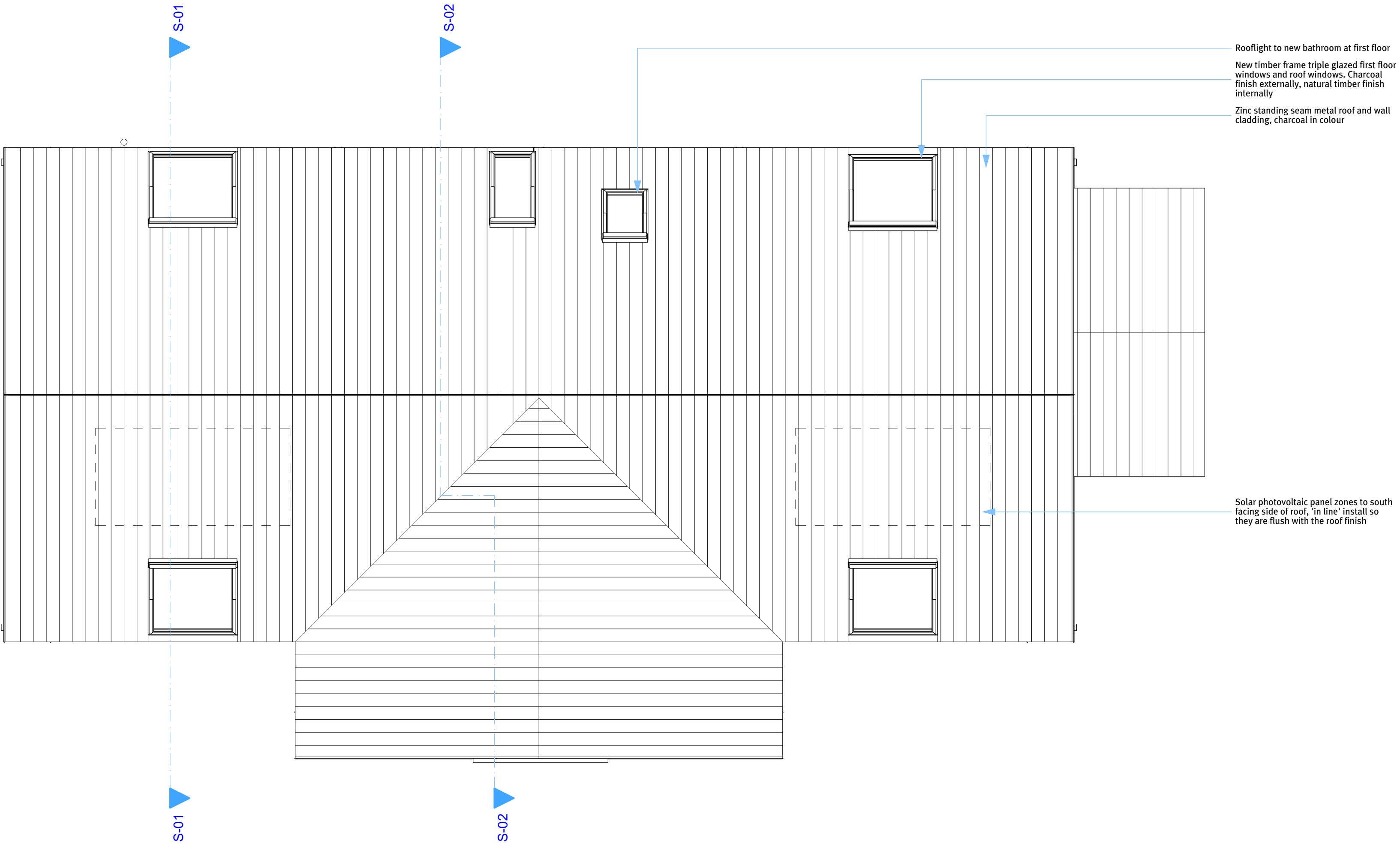
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Drg No. Rev
[PS]02_A



Solar photovoltaic panels integrated into metal roof



Proposed Roof Plan

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED ROOF PLAN

Project Status
FEASIBILITY

Job No
04377

Scale at A2
1:50

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Date of issue
20/06/2022

Rev.	Amendment	Date
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[PP]03_A

Additional storage beneath the stair for ASHP internal unit, spec to be confirmed with supplier. Door height is reduced to suit stair level above

Timber batten balustrade to stair conceals door to under stair storage

Downpipes drop at gable corners



Proposed Ground Floor Plan

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Project
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Title
PROPOSED GROUND FLOOR PLAN

Project Status
FEASIBILITY

Job No
04377

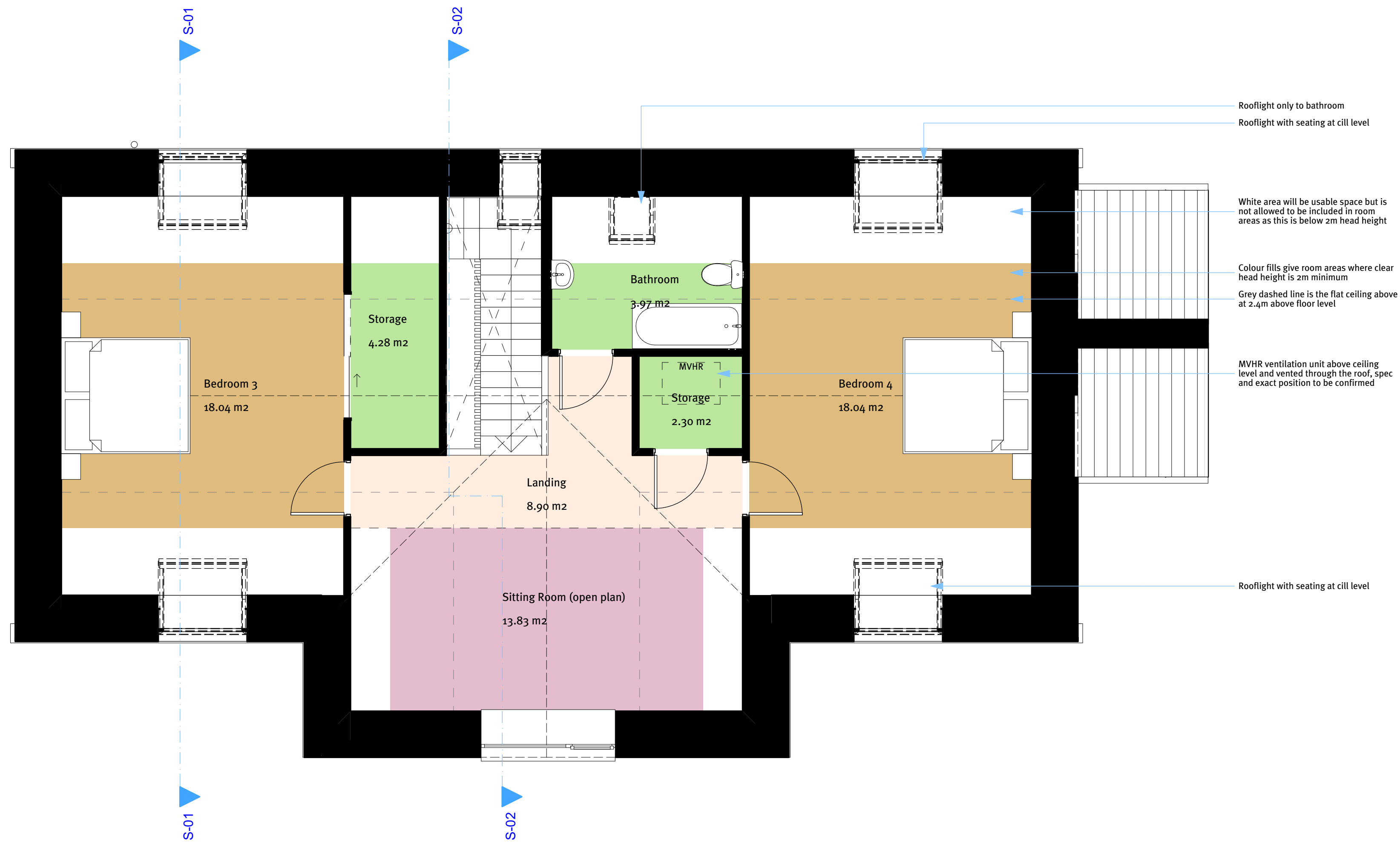
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Proposed First Floor Plan

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Project
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Title
PROPOSED FIRST FLOOR PLAN

Project Status
FEASIBILITY

Job No
04377

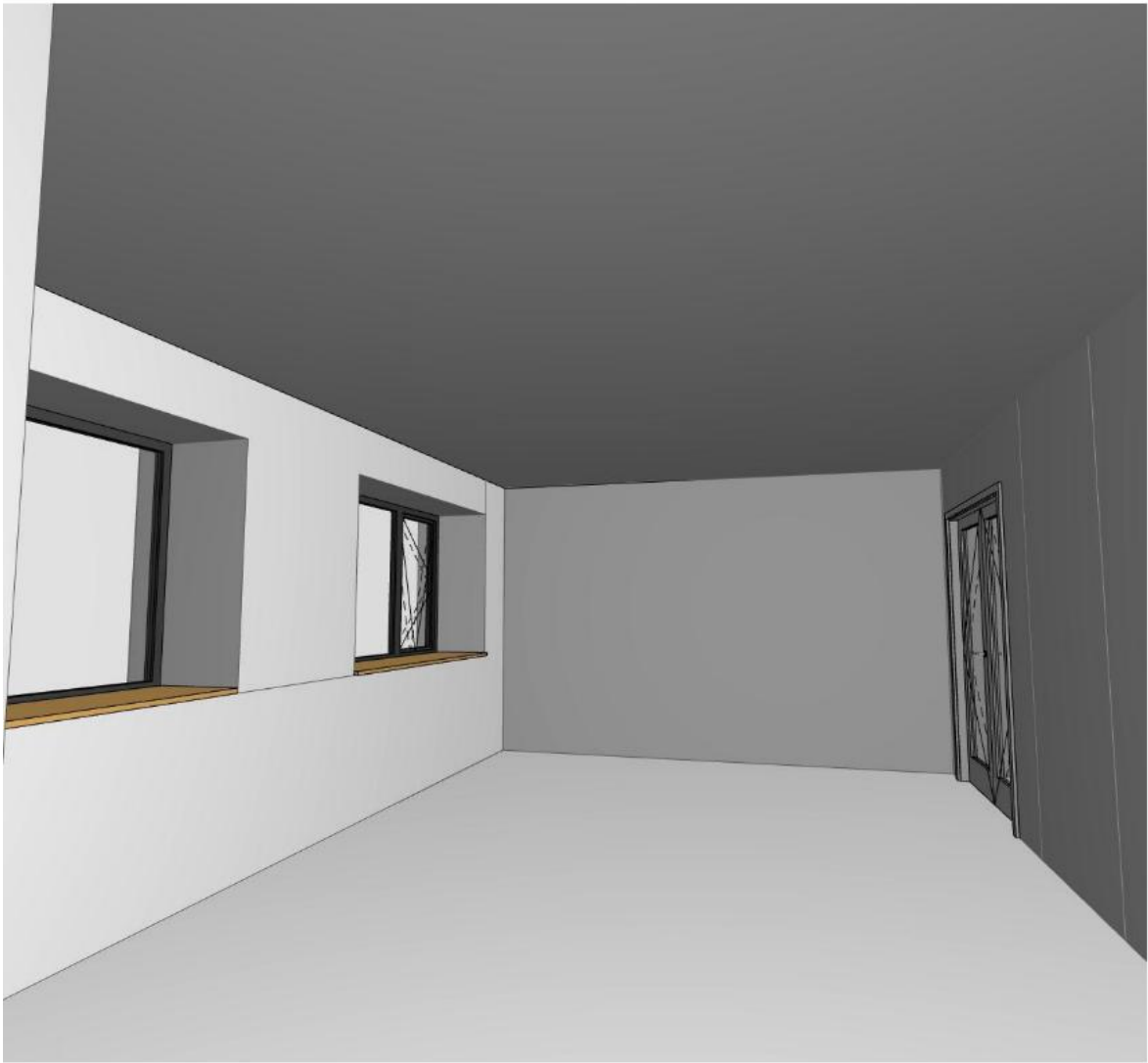
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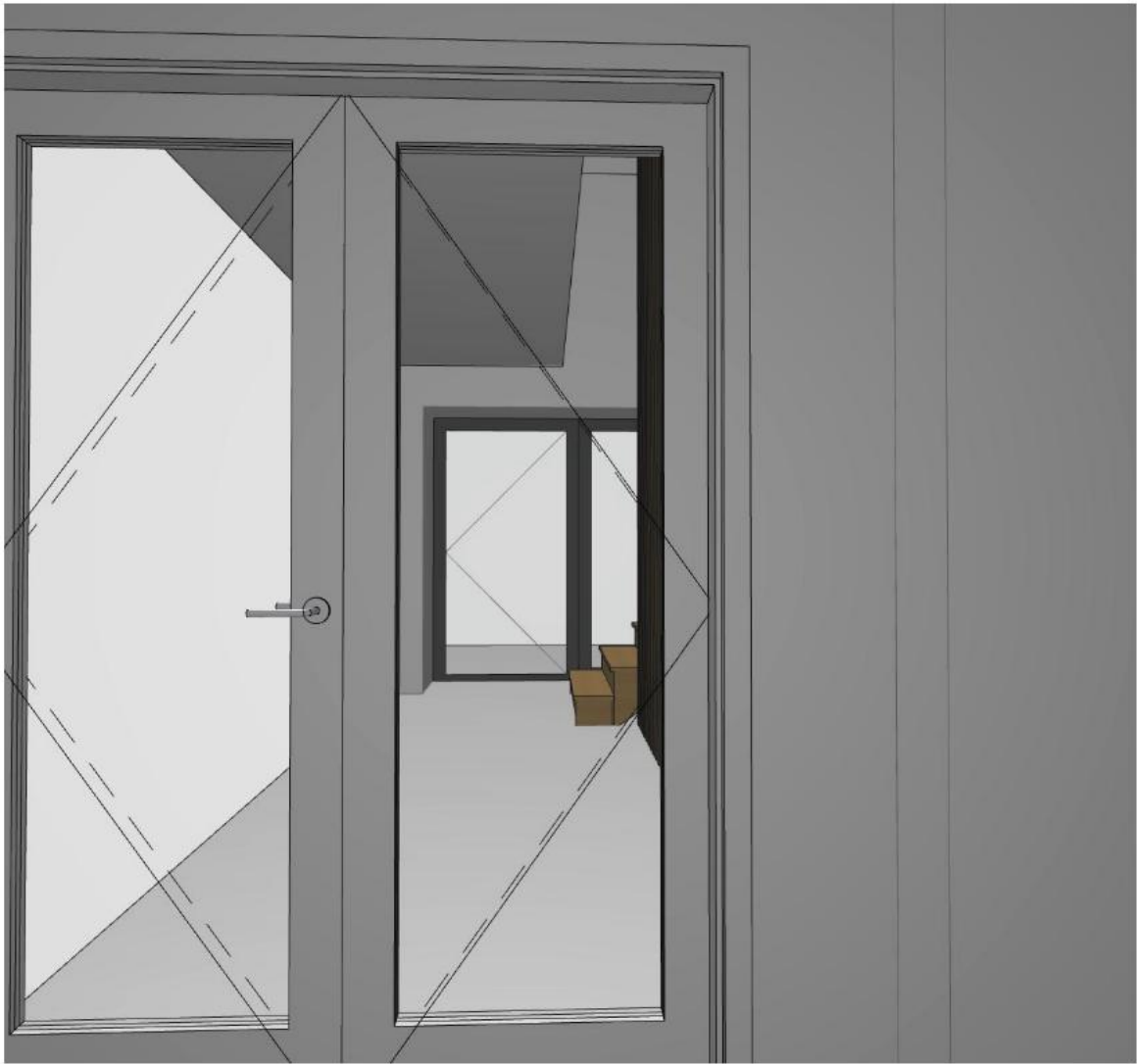
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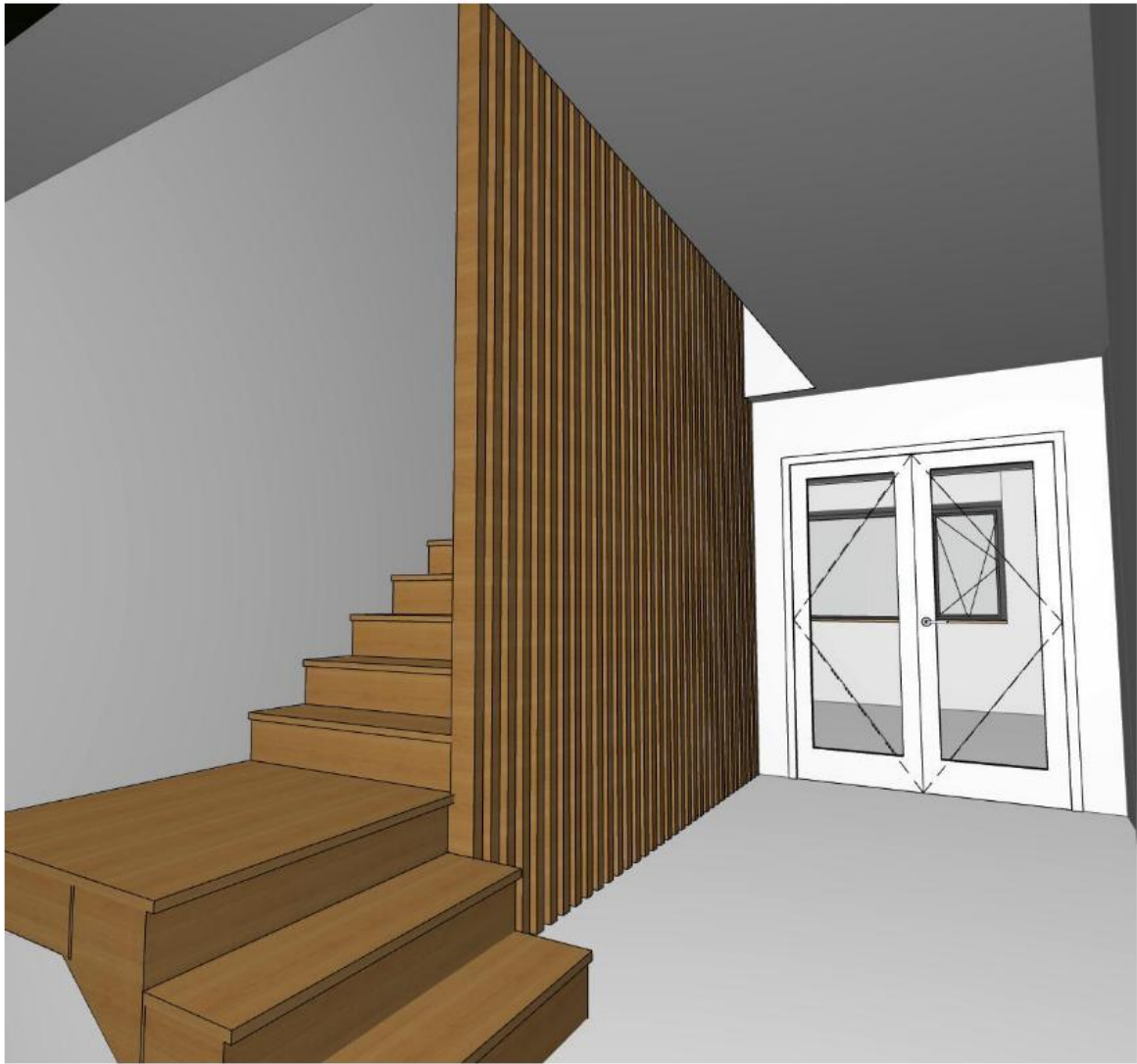
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[PP]02_A



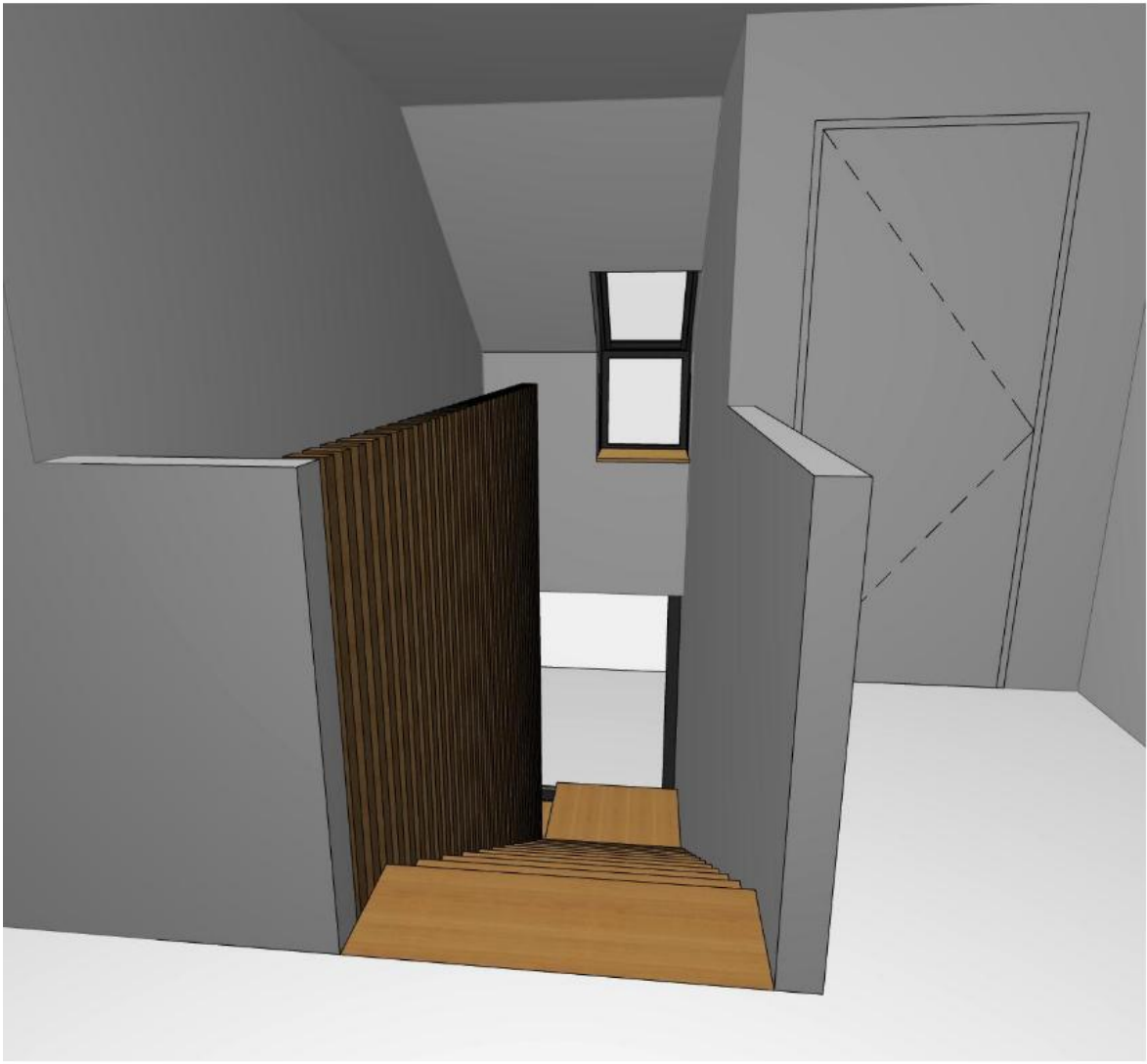
Ground Floor - Living Room View



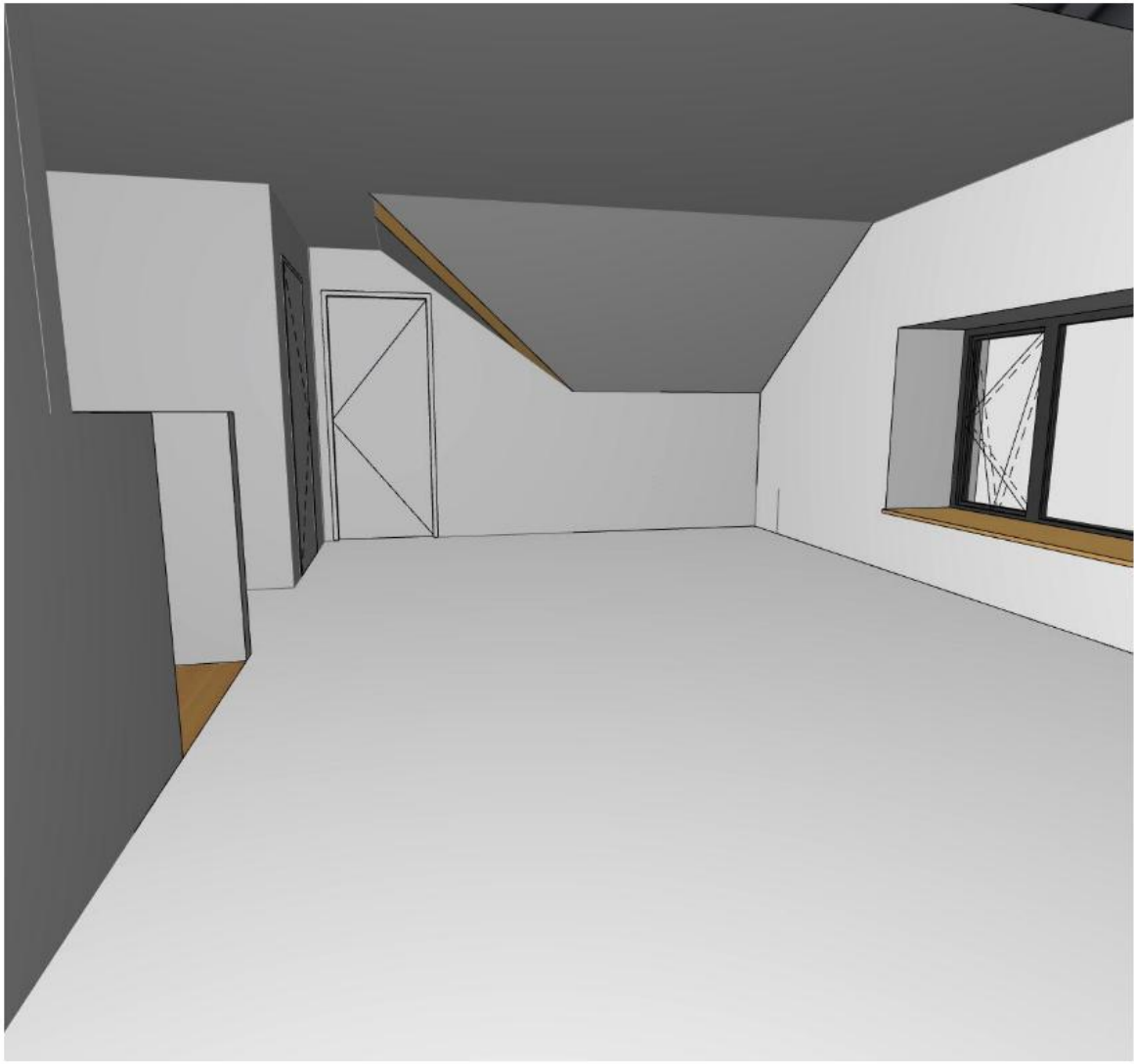
Ground Floor - Living Room into Hallway View



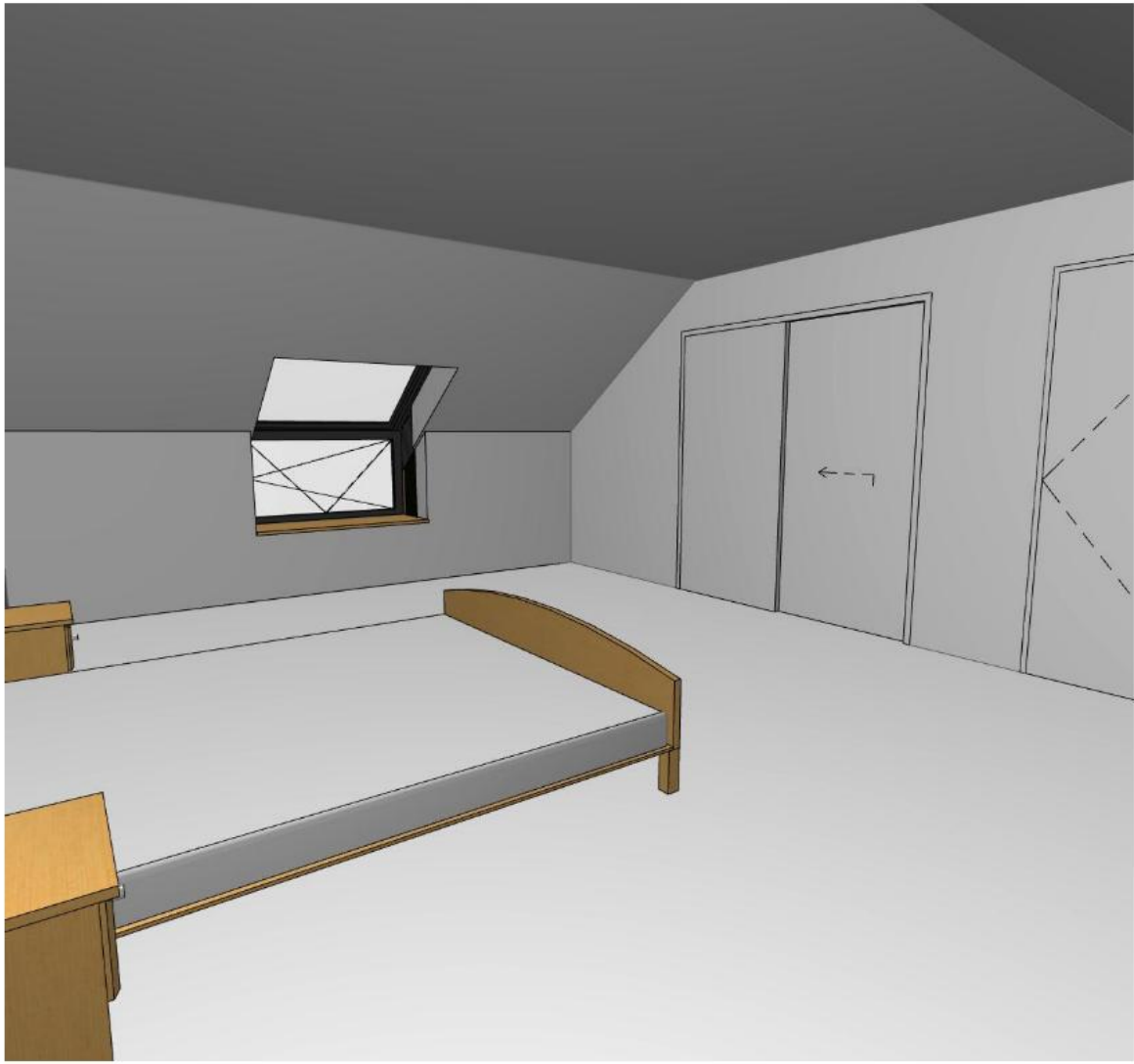
Ground Floor - Hallway View



First Floor - Landing View



First Floor - Sitting Room View



First Floor - Bedroom View

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Project
WHITE COTTAGE GOREBRIDGE

Title
PROPOSED INTERNAL 3D VIEWS

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04377

Scale at A2

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